

REVISED AGENDA
REGULAR MEETING OF THE MAYOR AND CITY COUNCIL
CITY OF GOLDSBORO
COUNCIL CHAMBERS – CITY HALL – 214 N. CENTER STREET
MAY 4, 2015

(Please turn off, or mute, all cell phones and pagers upon entering the Council Chambers)

- I. WORK SESSION–5:00 P.M. – COUNCIL CHAMBERS, 214 N. CENTER ST.**
 - a. Vehicle Replacement Discussion (Parks and Recreation)
- II. CALL TO ORDER – 6:00 P.M. – COUNCIL CHAMBERS, 214 N. CENTER ST.**
 - Invocation & Pledge to the Flag
- III. ROLL CALL**
- IV. PUBLIC COMMENT PERIOD (TIME LIMIT OF 3 MINUTES PER SPEAKER)**
- V. PRESENTATIONS**
 - A. Small Business Week Proclamation
 - B. Mental Health Month Proclamation
- VI. PUBLIC HEARINGS**
 - C. 2015-2020 Five-Year Consolidated Plan and 2015-2016 Annual Action Plan Public Hearing (Community Development)
- VII. CONSENT AGENDA ITEMS**
 - D. Z-3-15 Stevenson Automotive Group – South side of West Tommy’s Road between North William Street and Patetown Road (R-16 Residential to Office and Institutional-1 and Highway Business Conditional District for Auto Dealership) (Planning)
 - E. CU-1-15 William M. Sieprawski – East side of US 117 South between Arrington Bridge Road and the Neuse River (Used Car Lot) (Planning)
 - F. CU-2-15 Dee Ismail – South side of US Highway 70 West between Hargrove Street and the Little River (Planning)
 - G. CU-3-15 Harry Lin – North side of Spence Avenue between East Ash Street and Cashwell Drive (Planning)
 - H. Site and Landscape Plan – Dollar General (Planning)
 - I. Site and Landscape Plan - Wayne Assisted Living Facility (Planning)
 - J. Site Plan Modification – Laura Melvin (Florist Shop) (Planning)
 - K. Site and Landscape Plan–Worrell Contracting Co., Inc. (Planning)
 - L. Site Plan – Rose Brothers Furniture Company (Planning)
 - M. Surplus Auction Sale – Goldsboro Country Club (Finance)
 - N. Approval of Employee Health, Dental and Life Insurance Rates for FY 2015-16 (Finance)
 - **N-1. Authorization to File Application for Approval with the North Carolina Local Government Commission for the Financing of the W. A. Foster Recreation Center and the property located at 1501 S. Slocumb Street
- VIII. ITEMS REQUIRING INDIVIDUAL ACTION**
- IX. CITY MANAGER’S REPORT**
- X. CITY ATTORNEY’S REPORT AND RECOMMENDATIONS**
- XI. MAYOR AND COUNCILMEMBERS’ REPORTS AND RECOMMENDATIONS**
 - O. Peace Officers Memorial Day Proclamation
 - P. Coats and Ties Proclamation
 - Q. Municipal Clerks Week Proclamation
- XII. CLOSED SESSION**
- XIII. ADJOURN**

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City of Goldsboro

P.O. Drawer A
North Carolina
27533-9701

Office of the Mayor

PROCLAMATION SMALL BUSINESS WEEK

WHEREAS, small businesses are the backbone of our economy at every level; and

WHEREAS, more than half of Americans either own or work for a small business; and

WHEREAS, small businesses create an estimated two out of every three new jobs in the U.S. each year; and

WHEREAS, the state of North Carolina is home to more than 800,000 small businesses; and

WHEREAS, small businesses make up the majority of the more than 500 members of the Wayne County Chamber of Commerce and the clients of the Wayne Business and Industry Center, of which the Small Business Center is one of its successful components; and

WHEREAS, small businesses add strength to Wayne County's Certified Work-Ready Community status; and

WHEREAS, the Wayne County Chamber of Commerce and the Small Business Center at Wayne Community College provide a range of activities to assist, educate, and promote local small businesses;

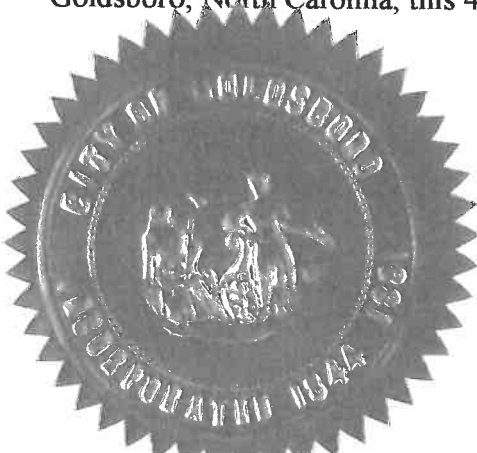
WHEREAS, the nation sets aside a week each year to celebrate the impact of outstanding entrepreneurs, small business owners, and their employees;

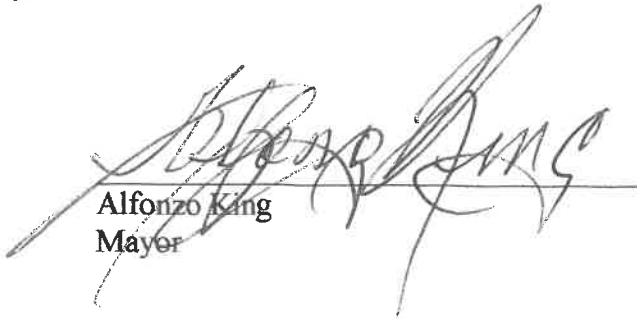
NOW, THEREFORE, I, Alfonzo King, Mayor of the City of Goldsboro, do hereby proclaim the week of May 4-8, 2015, as

SMALL BUSINESS WEEK

in Goldsboro, North Carolina and declares support for our small businesses and recognizes the innovations and contributions of small businesses.

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Seal of the City of Goldsboro, North Carolina, this 4th day of May, 2015.




Alfonzo King
Mayor



City of Goldsboro

P.O. Drawer A
North Carolina
27533-9701

Office of the Mayor

PROCLAMATION

MENTAL HEALTH MONTH 2015 ***"Mind Your Health"***

WHEREAS, mental health is essential to everyone's overall health and well-being; and

WHEREAS, all Americans experience times of difficulty and stress in their lives; and

WHEREAS, prevention is an effective way to reduce the burden of mental health conditions; and

WHEREAS, there is a strong body of research that supports specific tools that all Americans can use to better handle challenges, and protect their health and well-being; and

WHEREAS, mental health conditions are real and prevalent in our nation; and

WHEREAS, with effective treatment, those individuals with mental health conditions can recover and lead full, productive lives; and

WHEREAS, each business, school, government agency, health care provider, organization and citizen shares the burden of mental health problems and has responsibility to promote mental wellness and support prevention efforts.

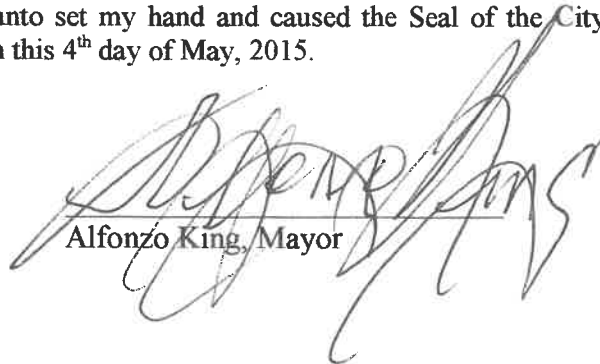
NOW, THEREFORE, I, Mayor Alfonzo King, do hereby proclaim May 2015 as

MENTAL HEALTH MONTH

in Goldsboro, North Carolina. As the Mayor, I call upon the citizens, government agencies, public and private institutions, businesses and schools in Goldsboro to recommit our community to increasing awareness and understanding of mental health, the steps our citizens can take to protect their mental health, and the need for appropriate and accessible services for all people with mental health conditions.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City of Goldsboro, North Carolina, to be affixed on this 4th day of May, 2015.




Alfonzo King, Mayor

CITY OF GOLDSBORO

AGENDA MEMORANDUM

May 4, 2015 COUNCIL MEETING

SUBJECT: 2015-2020 Five-Year Consolidated Plan and 2015-2016 Annual Action Plan Public Hearing

To allow the citizens of the City of Goldsboro the opportunity to discuss and express their concerns regarding housing and non-housing needs that exist in the Goldsboro community as they relate to the 2015-2020 Consolidated Plan and the 2015-2016 Annual Action Plan for the Community Development Block Grant (CDBG) and Home Investment Partnership (HOME) Programs.

BACKGROUND: Both the Five-Year Consolidated Plan and One-Year Annual Action Plan are strategic documents used by the City to provide detail information of proposed activities and/or projects that will maximize the benefit of CDBG and HOME funds to low-to-moderate income persons and families within the City's limits. On July 1, 2015, the City anticipates receiving from the U. S. Department of Housing and Urban Development (HUD) \$314,687 in CDBG funds and \$149,935 in HOME funds for fiscal year 2015-2016.

In order for the City of Goldsboro, as a Grantee, to receive its annual Entitlement Allocation of CDBG and HOME funds, the City must provide opportunities for citizen input as set forth in the Citizen Participation Plan. Comments received at this public hearing will be incorporated as part of the 2015-2020 Consolidated Plan and the 2015-2016 Annual Action Plan. In addition, the City must meet the following citizen participation requirements:

1. Furnish citizens with information concerning CDBG and HOME funds;
2. Hold at least two (2) public hearings and/or meetings to obtain views on housing and community development needs;
3. Publish a statement of Community Development objectives and projected use of funds and allow comment on same;

All meetings were held in the City of Goldsboro as follows:

January 7, 2015	6:00 p.m.	City Hall Annex
January 8, 2015	6:00 p.m.	City Hall Annex
January 13, 2015	6:00 p.m.	City Hall Annex

DISCUSSION:

The primary objective of the Community Development Program is the development of viable urban communities by providing decent housing, suitable living environment, and expanding economic opportunities, principally for persons of low-to-moderate income.

A draft of the 2015-2020 Consolidated Plan and the 2015-2016 Annual Action Plan was made available for public viewing and comment from March 20, 2015 through April 20, 2015.

The draft sets forth the proposed use of the 2015-2016 CDBG and HOME allocation of funds for the following Community Development activities as follows:

<u>ACTIVITY</u>	<u>PROPOSED BUDGET</u>	
	<u>CDBG</u>	<u>HOME</u>
1. Rehabilitation of Substandard Housing	\$ 10,547	
2. Hazardous Material (Testing, Abatement, and Monitoring)	\$ 4,000	
3. Homebuyer Assistance		\$ 74,942
4. Public Facilities & Improvements	\$150,000	
5. Public Services	\$ 47,203	
6. Acquisition, Demolition, and Clearance	\$ 10,000	
7. CHDO Activity		\$ 60,000
8. Economic Development	\$ 30,000	
9. Program Administration	<u>\$ 62,937</u>	<u>\$ 14,993</u>
TOTALS	\$314,687	\$149,935

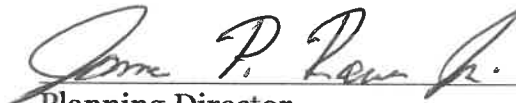
The 2015-2020 Consolidated Plan and the 2015-2016 Annual Action Plan will include the application for federal assistance, CDBG Grantee Certifications, documentation of public participation process, and coordination efforts with local agencies, groups, and organizations. In addition, the 2015-2016 Annual Action Plan will include the proposed use of funds remaining from prior year's allocations, estimated program income, and estimated program match funds, as required by HUD.

Notices of Public Meetings and/or Public Hearings were advertised in the Goldsboro News Argus on Thursday, December 18, 2014; Sunday, January 4, 2015; Wednesday, March 4, 2015; and Sunday, April 5, 2015.

RECOMMENDATION: By motion:

1. Authorize the staff to incorporate any needs or comments expressed at the public hearing, public meeting and/or any received from the review of the draft into the City's CDBG and HOME grant application; and
2. Authorize the Mayor to sign the Certifications indicating that the CDBG and HOME application for funds complies with the provision of the Housing and Community Development Act of 1974, as amended, and with any other applicable laws; and
3. Authorize the staff to submit the necessary application forms for CDBG and HOME funds.

Date: 4-23-2015


Planning Director

Date: 4-30-15


City Manager

SSC

CITY OF GOLDSBORO

AGENDA MEMORANDUM

MAY 4, 2015 COUNCIL MEETING

SUBJECT: Z-3-15 Stevenson Automotive Group – South side of West Tommy's Road between North William Street and Patetown Road (R-16 Residential to Office and Institutional-1 and Highway Business Conditional District for Auto Dealership)

BACKGROUND: Frontage: 2,811 ft. (approx.)
Depth: 952 ft. (average)
Area: 52.23 acres (approx.)

Surrounding Zoning: North: R-16 and RM-9 Residential
South: R-16 Residential
East: R-16 Residential
West: R-16 Residential

Existing Use: The property is currently vacant.

Proposed Use: The requested zoning district would limit the use of the property to an automotive dealership with development plans to be approved by the Planning Commission and City Council.

Comprehensive Plan Recommendation: The City's Land Use Plan, adopted in May, 2013, designates this property for a combination of Mixed Use-II, Mixed Use-I and Medium Density Residential.

DISCUSSION: The applicant has requested two zoning classifications. The Office & Institutional-1 classification has been requested for a 300 ft. wide strip of land at the rear of the site, adjacent to several existing residentially-developed lots in order to provide a buffer from the proposed automobile dealership. The front portion of the property is requested to Highway Business Conditional District. Prior to issuance of building permits, detailed development plans would have to be approved by the Planning Commission and City Council.

Access to the site would be provided from West Tommy's Road which runs from North William Street to its terminus at a cul-de-sac.

The Comprehensive Plan defines the recommended uses for the subject property as follows:

Mixed Use II: Zones allowed include Office-Residence, Office and Institutional-1, Office & Institutional-2 and Shopping Center. This category will allow a mixture of uses which may have an impact on or produce some conflict with adjacent lower density districts. Office and Institutional usage is recommended as a buffer/transition between lower and higher density land uses. This category will generate higher traffic volumes than Mixed Use-I.

Mixed Use-I: Zones allowed include Office-Residence, Office and Institutional-1, Office and Institutional-2 and Neighborhood Business. This category will allow a mixture of uses and have minimum impact on adjacent areas and serves a localized area. The preferred land use mix is 40% or greater non-commercial zoning. This category will generate lower traffic volumes than Mixed Use-II.

Medium-Density Residential: Equivalent to the R-9SF, R-12SF, and R-16 Residential single-family zoning districts.

The City's Unified Development Ordinance permits the proposed use as an automobile dealerships within the General Business, Highway Business and I-2 General Industry zoning districts. As indicated above, the Comprehensive Plan's recommendation does not include either the GB, HB or I-2 zoning districts. The request, therefore, is not consistent with the recommendations within the Comprehensive Land Use Plan.

At the public hearing held on April 20, 2015, three people appeared speaking in opposition to the request and expressed their concerns regarding the effects the development of an automobile dealership may have on their property and property values. Three people appeared and spoke in favor of the request.

Based on discussions between the developer and adjoining owners, the Planning Commission, at their meeting held on April 27, 2015, recommended approval of rezoning that portion of land requested to Highway Business Conditional District.

They recommended denial of rezoning the remaining 300 ft. wide portion which was requested to Office and Institutional-1 without prejudice. This will allow the developer to proceed with their plans for development of the auto dealership and, if necessary, return with a new proposal to address the 300 ft. wide portion which remains zoned R-16 Residential.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and:

1. Adopt an Ordinance changing the zoning for the front portion of the property from R-16 Residential to Highway Business Conditional District to allow the development of an automobile dealership; and
2. Deny the request for rezoning of the 300 ft. wide portion to Office & Institutional-1 without prejudice.

Although not entirely compliant with the City's Comprehensive Land Use Plan, the proposed Highway Business zone would be compatible with the location of the property in relation to the new US 70 Bypass as well as compliant with other uses anticipated in comparable locations. In addition, the designation as a Conditional District would insure that all development plans for an automobile dealership would be subject to review by the Planning Commission and City Council.

Date: 4-28-2015


Planning Director

Date: 4-30-15


City Manager

ssj

Z-3-15

R-16 TO O&I-1 and HB CD



The data represented on this map has been compiled by the best methods available. Accuracy is contingent upon the source information as compiled by various agencies and departments both internal and external to the City of Goldsboro, NC. Users of the data represented on the map are hereby notified that the primary information sources should be consulted for verification of the information contained herein. The City of Goldsboro and the companies contracted to develop these data assume no legal responsibilities for the accuracy contained on this map. It is strictly forbidden to sell or reproduce these maps or data for any reason without the written consent of the City of Goldsboro.

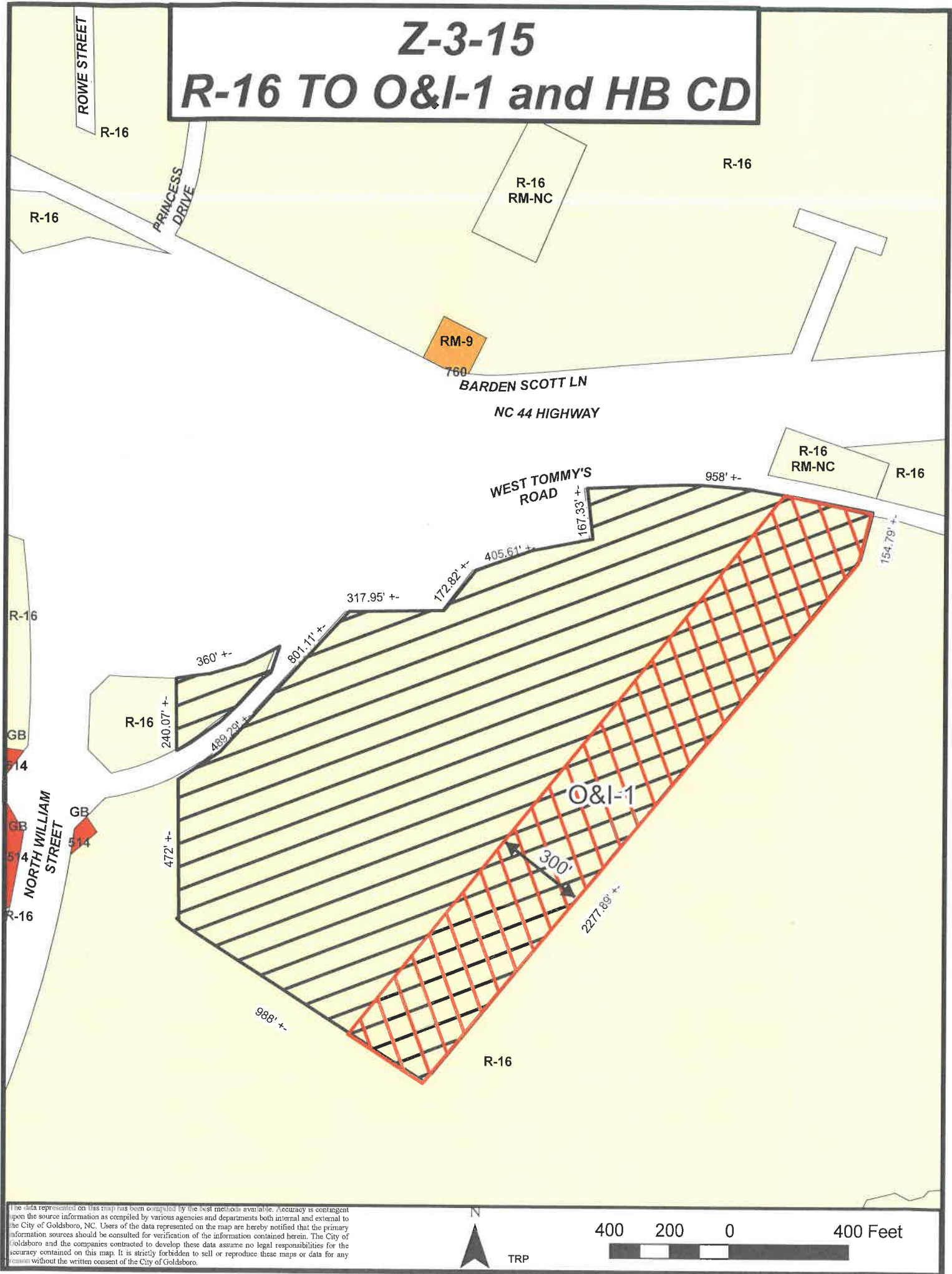
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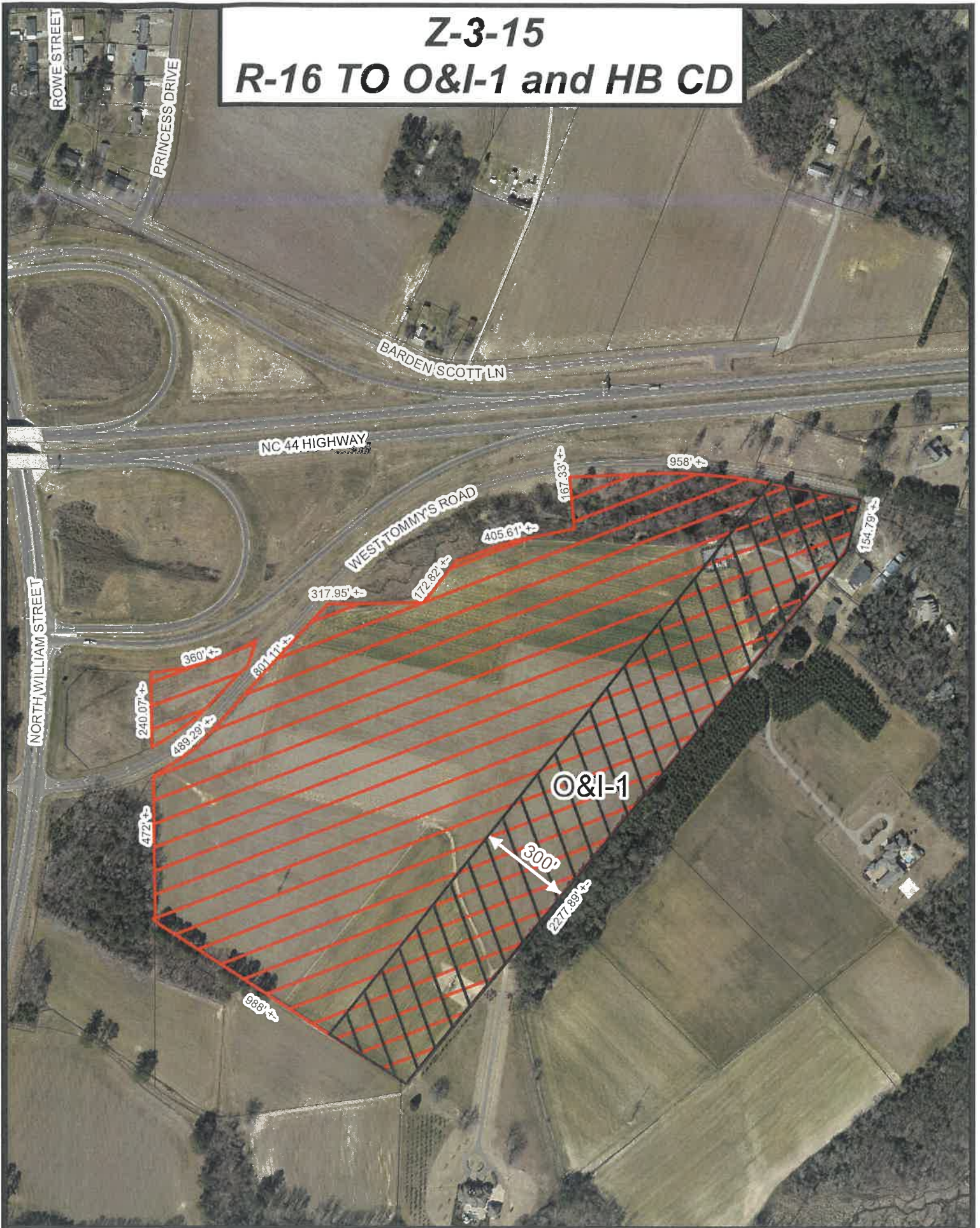
Z-3-15

R-16 TO O&I-1 and HB CD



Z-3-15

R-16 TO O&I-1 and HB CD



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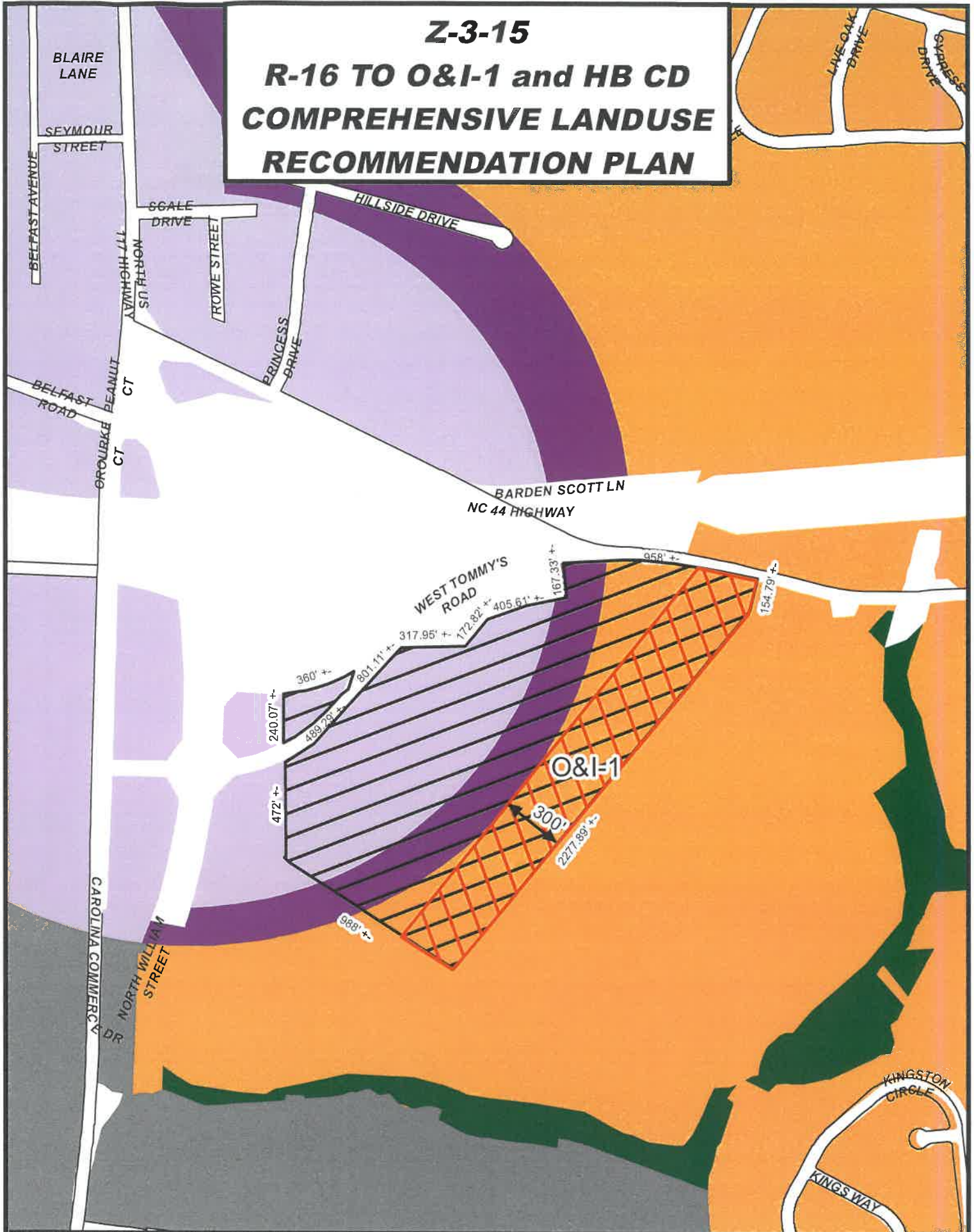
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Z-3-15

**R-16 TO O&I-1 and HB CD
COMPREHENSIVE LANDUSE
RECOMMENDATION PLAN**



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ORDINANCE NO. 2015 -18

**AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT ORDINANCE
OF THE CITY OF GOLDSBORO, NORTH CAROLINA
CODE OF ORDINANCES**

WHEREAS, after notice duly given according to law, a public hearing was held before the City Council and the Planning Commission at a regular meeting held in the Council Chamber, City Hall, on Monday, April 20, 2015, at 7:00 p. m., for the purpose of considering and discussing the passing of an ordinance amending the Unified Development Ordinance of the City of Goldsboro, North Carolina; and

WHEREAS, after completion of said public hearing and receipt of the recommendation of the Planning Commission, the City Council of the City of Goldsboro deems it advisable and for the best interest of the City and those residing within its zoning jurisdiction that the Unified Development Ordinance be amended as herein below set forth;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Goldsboro, North Carolina:

1. That the Unified Development Ordinance of the City of Goldsboro, North Carolina Code of Ordinances, be and the same is hereby amended by changing:

**From R-16 Residential to Highway Business Conditional District
to allow the development of an Automobile Dealership; Development
plans to be reviewed and approved separately.**

**Z-3-15 Stevenson Automotive Group – South side of West Tommy's
Road between North William Street and Patetown Road**

**The property is located on the south side of West Tommy's Road between
North William Street and Patetown Road. The Wayne County Tax ID
is 3601-50-3388 (Part). The property has a frontage of approximately
2,811 ft., an average depth of approximately 652 ft. and a total area of
approximately 42.1 acres.**

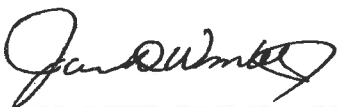
2. That the Official Zoning Map, Goldsboro, North Carolina, on file in the Office of the Director of Planning and Community Development be promptly changed to reflect this amendment and the appropriate entries in reference thereto be entered in the descriptive record of changes as provided in Section 2 of the Unified Development Ordinance.

3. That this Ordinance shall become effective from and after the entry of the changes or amendments herein made on the said Official Zoning Map.

Adopted this 4th day of May 2015.

Approved as to Form Only:

Reviewed by:



City Attorney



City Manager

CITY OF GOLDSBORO

AGENDA MEMORANDUM

MAY 4, 2015 COUNCIL MEETING

SUBJECT: CU-1-15 William M. Sieprawski – East side of US 117
South between Arrington Bridge Road and the Neuse River
(Used Car Lot)

BACKGROUND: Frontage: 155.70 ft.
Depth: 183.88 (approx.)
Area: 48,036 sq. ft. or 0.72 acres
Zoning: General Business

In August of 2013, this property was approved for use as an ATV sales/repair shop. More recently, in July of 2014, the lot was approved as a car wash and detail facility. The existing single-story brick veneer building is now vacant and has been for more than six months.

DISCUSSION: Used car sales are a permitted use within the General Business zoning district upon obtaining a Conditional Use Permit from City Council. The applicant has submitted site and landscape plans which indicate the following:

1. Parking:
 - a. Display vehicles: 20 spaces
 - b. Customers: 5 spaces
 - c. Employees: 1 space
2. Method of Delivery: Car carrier or driven to site.
(A loading space will not be necessary.)
3. Hours of Operation:
10:00 a. m. to 6:00 p. m. (Monday thru Friday)
10:00 a. m. to 5:00 p. m. (Saturday)
4. Method of refuse collection: Provided by private carrier.

The property is situated between two existing commercial sites. A tattoo business is located in the building south of the proposed used car lot while the building to the north is currently vacant.

The property is served by two access drives along US 117 South. NCDOT has been contacted regarding the proposed use and has stated that since the change of use will not generate additional traffic, a driveway permit will not be required.

The site plan delineates spaces to be used for display parking. Eight of the twenty display parking spaces are shown in front of the adjacent tattoo business which is in the same ownership. Required parking for the tattoo business will not be affected.

Applicant has been informed that outside storage is prohibited for this location and all vehicles must use existing asphalt pavement for parking and display purposes.

There are existing low-growing Nandina shrubs installed in the public right-of-way within established islands improved and approved by NCDOT. Applicant proposes to plant new shrubs in place of the existing material. NCDOT will not allow required street trees in these areas. A modification of street trees is required. Modifications of other landscaping requirements have been requested as follows:

1. Modification of Type A (5 ft. wide) buffer along the northern and southern property lines;
2. Modification of the 8 ft. protected street yard;
3. Modification of interior landscaping requirements.

Interconnectivity is shown to the south and the staff will insure that interconnectivity is also provided to the north.

At the public hearing held on April 20, 2015, one person appeared to express concerns regarding traffic which travels at a high rate of speed near the subject property and adjacent

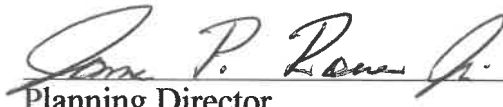
to his property to the north. Two people spoke in favor of the request.

The Planning Commission, at their meeting held on April 27, 2015, recommended approval of the Conditional Use Permit and site plan with the requested modifications.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and:

1. Adopt an Order approving the Conditional Use Permit to allow the operation of a used car lot; and
2. Approve the submitted site plan detailing the operation with the following modifications:
 - a. Modification of Type A (5 ft. wide) buffer along the northern and southern property lines;
 - b. Modification of the 8 ft. protected street yard;
 - c. Modification of interior landscaping requirements.

Date: 4-29-2015


Planning Director

Date: 4-30-15


City Manager

ssj

CITY OF GOLDSBORO

STATE OF NORTH CAROLINA

ORDER **APPROVING** A CONDITIONAL USE PERMIT

The City Council of the City of Goldsboro, North Carolina, having held a public hearing on **April 20, 2015** to consider Conditional Use Permit application number:

CU-1-15 William M. Sieprawski – East side of US 117 South between
Arrington Bridge Road and the Neuse River

to allow the operation of a **used car lot** makes the following findings of fact.

FINDINGS OF FACT

The City Council makes the CONCLUSION that the proposed use **does** satisfy the general conditions imposed on the Council in its deliberations for issuing a Conditional Use Permit under Sections 5.5 Supplemental Use Regulations and 5.5.4 Special and Conditional Use Specific Regulations pertaining to "*Automobile Sales - Used*".

In addition, the Council approved site and landscape plans detailing the proposed development. The following modifications were approved in conjunction with the plan approval.

1. Modification of Type A (5 ft. wide) buffer along the northern and southern property lines;
2. Modification of the 8 ft. protected street yard;
3. Modification of interior landscaping requirements.

Upon motion made by Councilmember _____ and seconded by Councilmember _____, the Council **APPROVED** the applicant's request for a Conditional Use Permit to allow the operation of a used car dealership for high-end, high-performance autos including the accessory uses of restoration, service and repair.

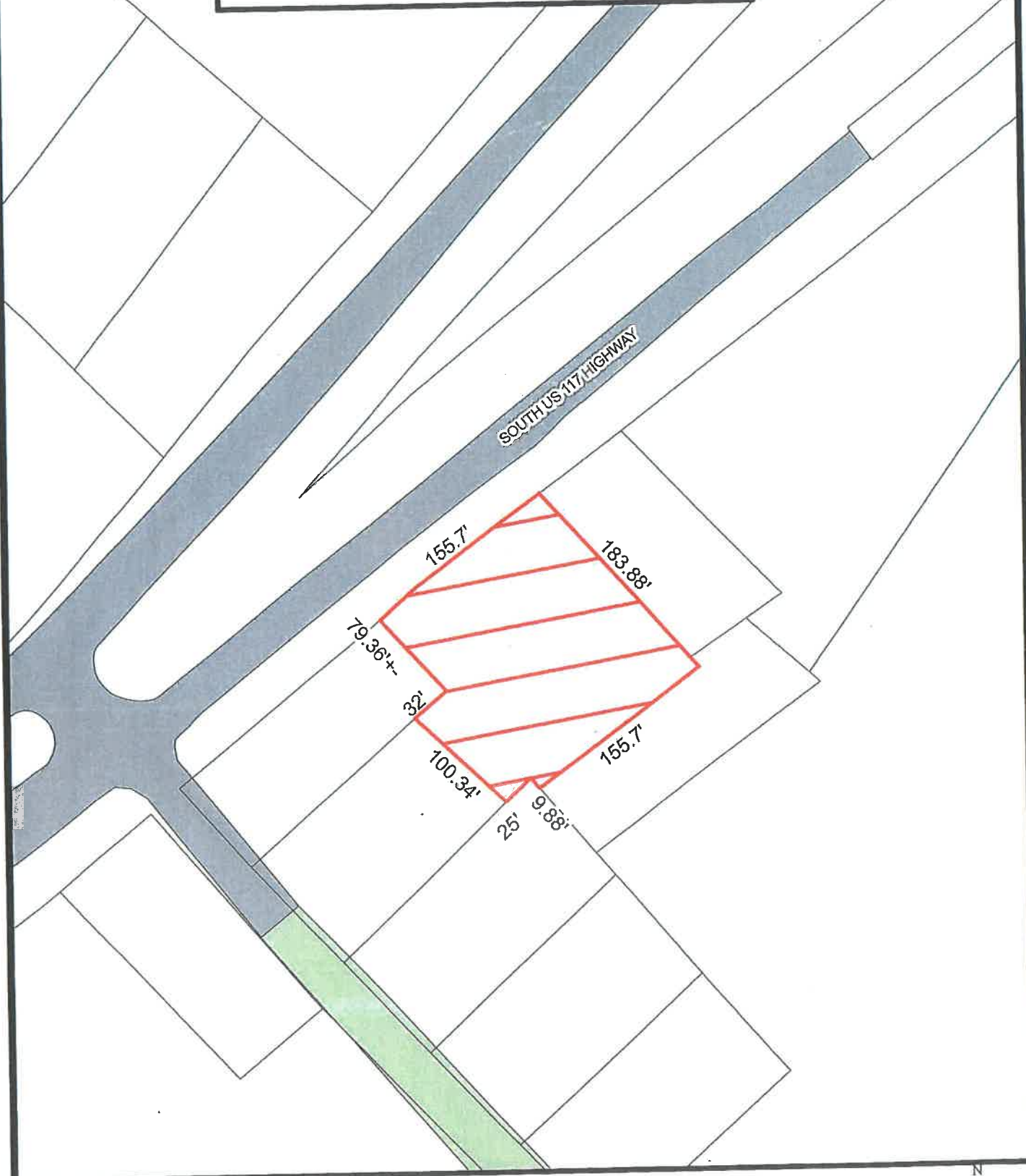
Therefore, because the City Council concludes that all of the general conditions precedent to the issuance of a **CONDITIONAL USE PERMIT** have **BEEN SATISFIED**, subject to listed modifications, **IT IS ORDERED** that the application for the issuance of a **CONDITIONAL USE PERMIT** to operate a **used car lot** be **APPROVED**.

Thus ordered this _____ day of _____, 2015.

Al King, Mayor

James D. Womble, City Attorney

CU-1-15
WILLIAM MARK SIEPRAWSKI
USED CAR LOT



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CU-1-15 WILLIAM MARK SIEPRAWSKI USED CAR LOT



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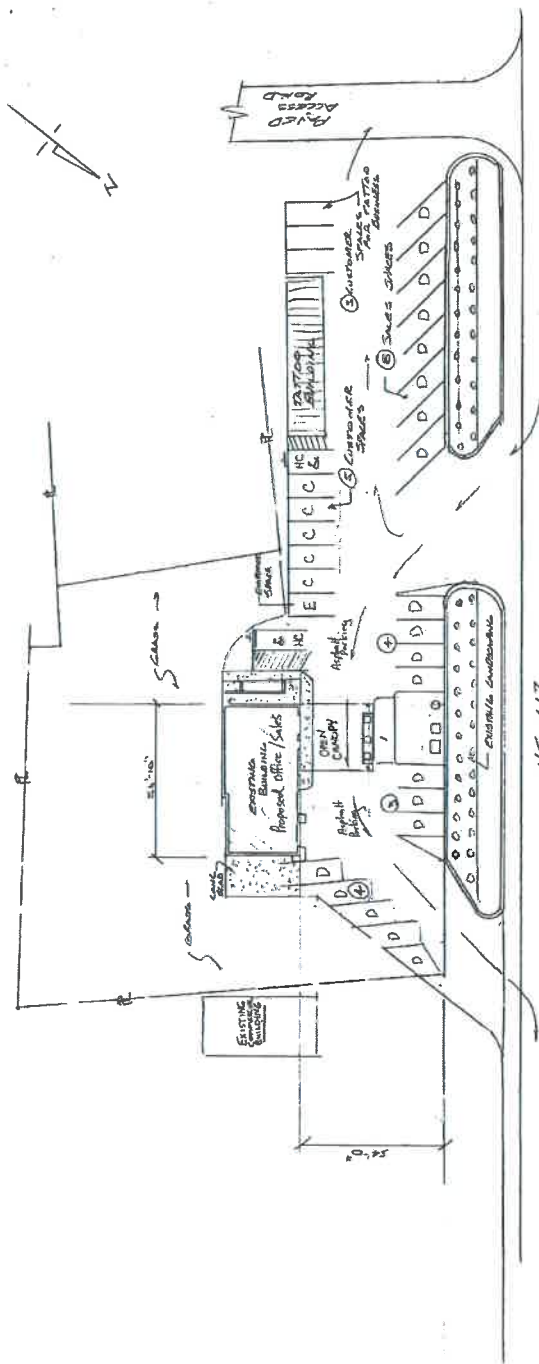
TRP



FOR CAR SALE

1000

(E) - EMPLOYEE SPACE	1
(H) - HANDICAPPED SPACE	1
(D) - SALES SPACES	20
(C) - CUSTOMER SPACE'S	5
TYPICAL SPACE	9'x10'

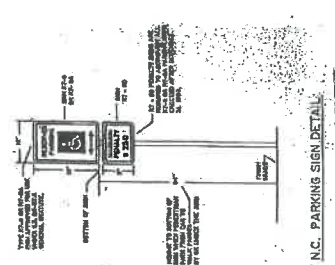


PROPOSED
SITE PLAN SKETCH

FOR
YOUNG'S AUTO SALES
2034 US 176, Henderson

**PROGRESS DRAWINGS
NOT FOR CONSTRUCTION**

MASSENGILL ASSOCIATES, P.A.
CONSULTING ENGINEERING
115 E. MAIN ST., P.O. BOX 695
RENSON, N.C. 27604 - 0635
PHONE: 919-884-5071 FAX: 919-884-7268



N.C. PARKING SIGN DETAIL



ACCESSIBLE PARKING DETAIL

2000年12月25日
 2000年12月25日
 2000年12月25日

CITY OF GOLDSBORO

STATE OF NORTH CAROLINA

ORDER **APPROVING** A CONDITIONAL USE PERMIT

The City Council of the City of Goldsboro, North Carolina, having held a public hearing on **April 20, 2015** to consider Conditional Use Permit application number:

CU-1-15 William M. Sieprawski – East side of US 117 South between Arrington Bridge Road and the Neuse River

to allow the operation of a **used car lot** makes the following findings of fact.

FINDINGS OF FACT

The City Council makes the CONCLUSION that the proposed use **does** satisfy the general conditions imposed on the Council in its deliberations for issuing a Conditional Use Permit under Sections 5.5 Supplemental Use Regulations and 5.5.4 Special and Conditional Use Specific Regulations pertaining to "*Automobile Sales - Used*".

In addition, the Council approved site and landscape plans detailing the proposed development. The following modifications were approved in conjunction with the plan approval.

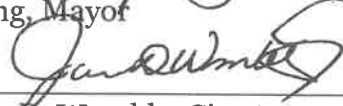
1. Modification of Type A (5 ft. wide) buffer along the northern and southern property lines;
2. Modification of the 8 ft. protected street yard;
3. Modification of interior landscaping requirements.

Upon motion made by Councilmember Allen and seconded by Councilmember Williams, the Council APPROVED the applicant's request for a Conditional Use Permit to allow the operation of a used car dealership for high-end, high-performance autos including the accessory uses of restoration, service and repair.

Therefore, because the City Council concludes that all of the general conditions precedent to the issuance of a CONDITIONAL USE PERMIT have **BEEN SATISFIED**, subject to listed modifications, IT IS ORDERED that the application for the issuance of a CONDITIONAL USE PERMIT to operate a **used car lot** be **APPROVED**.

Thus ordered this 4th day of May, 2015.


Al King, Mayor


James B. Womble, City Attorney

CITY OF GOLDSBORO

AGENDA MEMORANDUM

MAY 4, 2015 COUNCIL MEETING

SUBJECT: CU-2-15 Dee Ismail – South side of US Highway 70 West between Hargrove Street and the Little River

BACKGROUND: The applicant requests a Conditional Use Permit to allow the operation of a bingo game establishment.

The establishment would be located within two units in the Little River Shopping Center on West Grantham Street and is adjacent to an existing restaurant operated by the applicant (Dee's Diner). The two units to be utilized have a total width of approximately 53 ft.

In 2009, the Council approved a Conditional Use Permit request within this shopping center for a bingo establishment, however, it is no longer in operation.

DISCUSSION: A floor plan has been submitted which designates an assembly area containing 17 tables and 68 seats. Also included are areas for storage, an office, restrooms and concessions.

The shopping center site plan was original approved by the City Council in 1987.

There are a total of 603 parking spaces (including 13 handicapped spaces) to serve the shopping center. There should be adequate parking to accommodate the bingo establishment.

Hours of Operation: 2:00 p. m. to 2:00 a. m.
Monday - Sunday

Number of Employees: 4

Refuse Collection: Provided privately

The applicant has submitted a statement indicating that, in accordance with State law, prizes associated with the establishment will not exceed \$10 per game.

If approved, the Conditional Use Permit would be in effect for a one-year period with automatic renewal for additional five-year periods provided the site is maintained in a satisfactory manner as originally approved.

At the public hearing held on April 20, 2015, no one appeared to speak either for or against the request.

The Planning Commission, at their meeting held on April 27, 2015, recommended approval of the Conditional Use Permit and submitted site and floor plans.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and:

1. Adopt an Order approving the Conditional Use Permit to operate a bingo establishment; and
2. Approve the submitted site and floor plans detailing the operation.

Date: 4-29-2015


Planning Director

Date: 4-30-15


City Manager

ssj

CITY OF GOLDSBORO

STATE OF NORTH CAROLINA

ORDER **APPROVING** A CONDITIONAL USE PERMIT

The City Council of the City of Goldsboro, North Carolina, having held a public hearing on April 20, 2015 to consider Conditional Use Permit application number:

CU-2-15 Dee Ismail – South side of US Highway 70 West
Between Hargrove Street and the Little River

To operate a bingo game establishment, having heard all of the evidence and arguments presented and reports from City officials and having received a recommendation for **approval** from the Goldsboro Planning Commission pertaining to said application, makes the following:

The City of Goldsboro's Unified Development Ordinance provides the following regulations which are specific to the applicant's request for a bingo game establishment.

Bingo Game Establishments

- a. Permitted Districts: Neighborhood Business, General Business, Central Business District, Shopping Center and Highway Business.

The subject property is zoned General Business.

- b. Approval Criteria
 - 1. The applicant shall deliver to the City sufficient evidence that they comply with State requirements for bingo game establishments as specified in GS 14-309.5-14. **Applicant has submitted a statement indicating that she will comply with all applicable State requirements.**
 - 2. Bingo establishments shall only be permitted in the O&I-1 district if they are associated with a church and conducted in a religious facility on the same site. N/A
 - 3. Establishments proposed for Neighborhood Business Districts shall front on a highway having a minimum of four lanes. N/A

4. The conditional use permit shall be issued for a one-year period with automatic renewal for additional five-year periods provided the site is maintained in a satisfactory manner as originally approved.

The applicant has submitted a site plan indicating that the bingo establishment will be operated in two units within the Little River Shopping Center. There is sufficient parking for the bingo establishment. Hours of operation will be from 2:00 p. m. to 2:00 a. m., Monday through Sunday and four employees are proposed.

Based upon the foregoing FINDINGS OF FACT, the City Council makes the CONCLUSION that the proposed use **does** satisfy the general conditions imposed on the Council in its deliberations for issuing a Conditional Use Permit under Sections 2.2.8 and 5.54 of the City of Goldsboro Unified Development Ordinance.

Upon motion made by Councilmember _____ and seconded by Councilmember _____, the Council accepted the recommendation of the Planning Commission and approved the applicant's request for a Conditional Use Permit to operate a bingo game establishment.

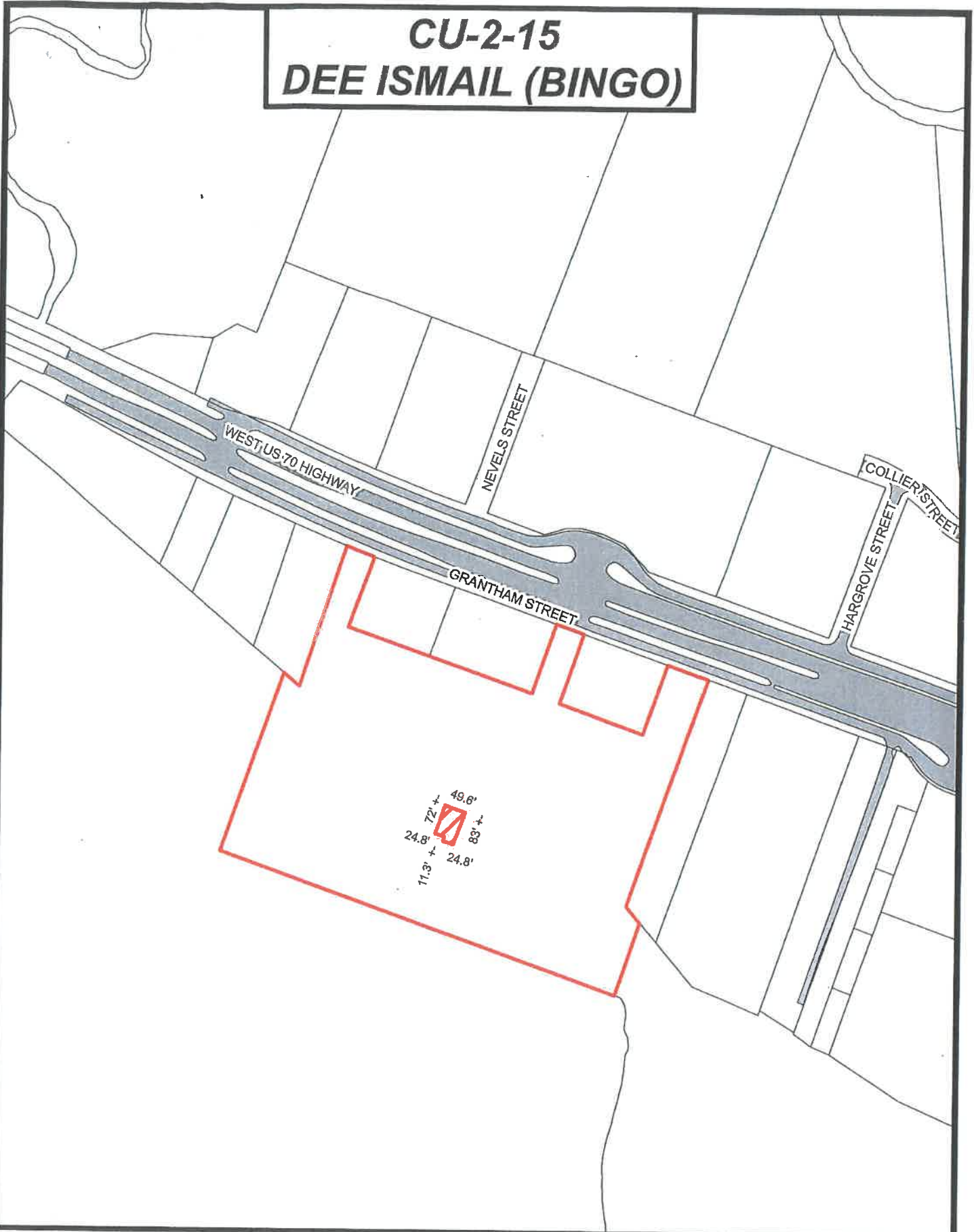
Therefore, because the City Council concludes that the general conditions precedent to the issuance of a CONDITIONAL USE PERMIT **HAVE BEEN** satisfied, IT IS ORDERED that the application for the issuance of a CONDITIONAL USE PERMIT be **APPROVED**.

Thus ordered this _____ day of _____, 2015.

Al King, Mayor

James D. Womble, City Attorney

CU-2-15 DEE ISMAIL (BINGO)



The data represented on this map has been compiled by the best methods available. Accuracy is contingent upon the source information provided by various agencies and departments both internal and external to the City of Oklahoma, Inc. Users of the data represented on this map are hereby notified that the primary responsibility should be retained for the verification of the information contained herein. The City of Oklahoma and its agencies cannot be held responsible for any errors or omissions on this map. It is hereby notified to sell or reproduce these maps or data for any reason without the written consent of the City of Oklahoma.

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TSP



CU-2-15 DEE ISMAIL (BINGO)



The data represented on this map has been compiled by the best methods available. Accuracy is contingent upon the source information as supplied by various agencies and departments both internal and external to the City of Oklahoma. No warranty of the data, represented on the map and hereby certified that the information appears should be warranted for verification of the information contained herein. The City of Oklahoma and the employees involved in creating this data reserve the legal right to amend this data as the survey conducted on this map. It is hereby declared to all or reproduce this map or data for any reason without the written consent of the City of Oklahoma.

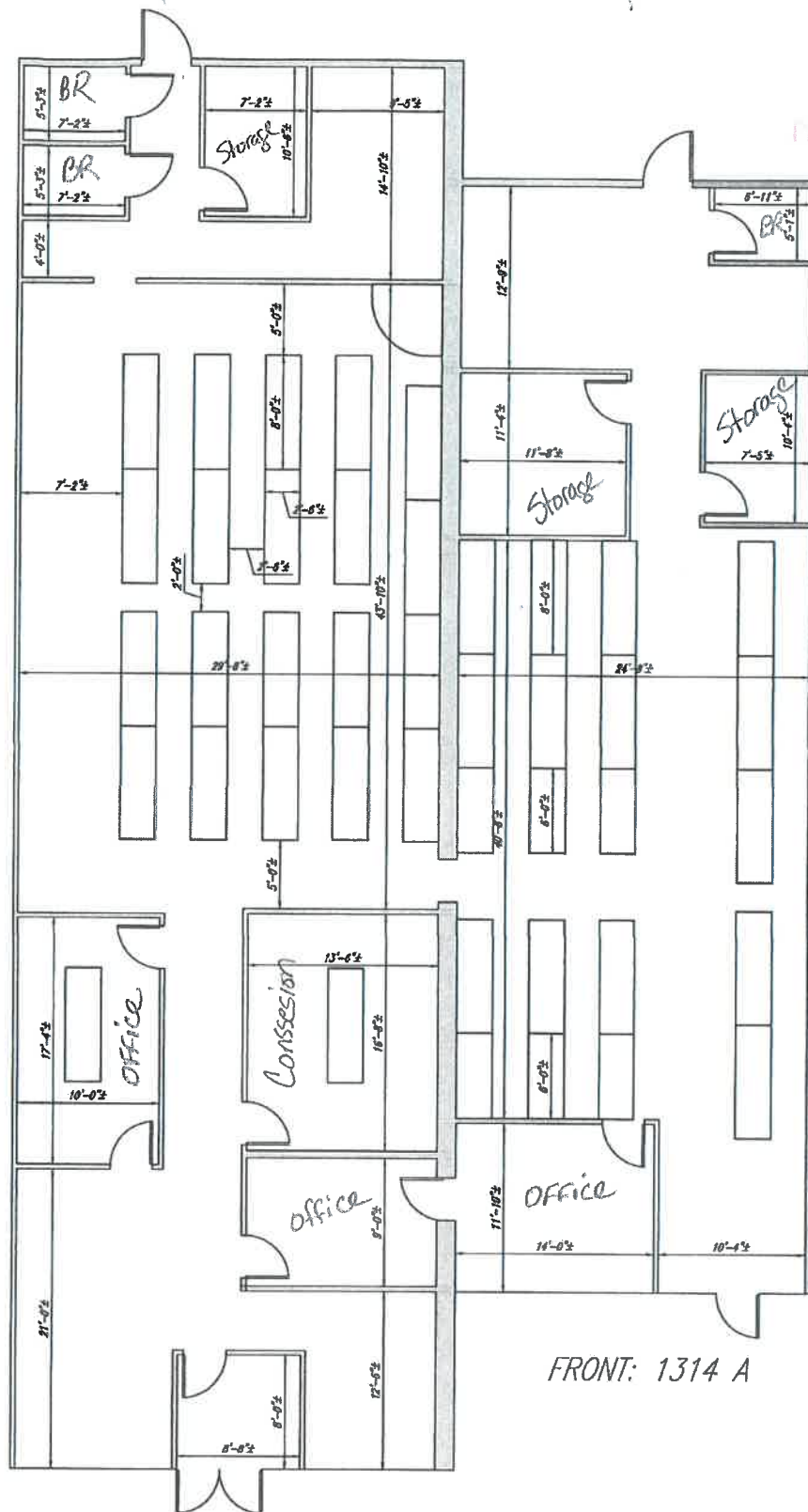
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RECEIVED

MAR 23 2015

Planning & CD Dept



FRONT: 1314 A

FRONT: 1314 B

Hours
2pm-2AM
Mon-Sunday
Bingo Bonanza



B.K.
JONES CONSULTING ENGINEERS, P.A.

Post Office Box 10882
Goldsboro, NC 27532

919-221-5222
bkjones@jnc.rr.com
Lic.#: C-3065

DATE: 3-20-2015 REV1

SCALE: 3/16" = 1'-0"

CITY OF GOLDSBORO
STATE OF NORTH CAROLINA
ORDER **APPROVING** A CONDITIONAL USE PERMIT

The City Council of the City of Goldsboro, North Carolina, having held a public hearing on April 20, 2015 to consider Conditional Use Permit application number:

CU-2-15 Dee Ismail – South side of US Highway 70 West
Between Hargrove Street and the Little River

To operate a bingo game establishment, having heard all of the evidence and arguments presented and reports from City officials and having received a recommendation for **approval** from the Goldsboro Planning Commission pertaining to said application, makes the following:

The City of Goldsboro's Unified Development Ordinance provides the following regulations which are specific to the applicant's request for a bingo game establishment.

Bingo Game Establishments

- a. Permitted Districts: Neighborhood Business, General Business, Central Business District, Shopping Center and Highway Business.

The subject property is zoned General Business.

- b. Approval Criteria
 - 1. The applicant shall deliver to the City sufficient evidence that they comply with State requirements for bingo game establishments as specified in GS 14-309.5-14. **Applicant has submitted a statement indicating that she will comply with all applicable State requirements.**
 - 2. Bingo establishments shall only be permitted in the O&I-1 district if they are associated with a church and conducted in a religious facility on the same site. **N/A**
 - 3. Establishments proposed for Neighborhood Business Districts shall front on a highway having a minimum of four lanes. **N/A**

4. The conditional use permit shall be issued for a one-year period with automatic renewal for additional five-year periods provided the site is maintained in a satisfactory manner as originally approved.

The applicant has submitted a site plan indicating that the bingo establishment will be operated in two units within the Little River Shopping Center. There is sufficient parking for the bingo establishment. Hours of operation will be from 2:00 p. m. to 2:00 a. m., Monday through Sunday and four employees are proposed.

Based upon the foregoing FINDINGS OF FACT, the City Council makes the CONCLUSION that the proposed use **does** satisfy the general conditions imposed on the Council in its deliberations for issuing a Conditional Use Permit under Sections 2.2.8 and 5.54 of the City of Goldsboro Unified Development Ordinance.

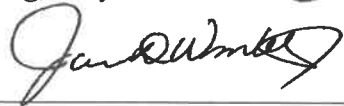
Upon motion made by Councilmember Allen and seconded by Councilmember Williams, the Council accepted the recommendation of the Planning Commission and approved the applicant's request for a Conditional Use Permit to operate a bingo game establishment.

Therefore, because the City Council concludes that the general conditions precedent to the issuance of a **CONDITIONAL USE PERMIT HAVE BEEN** satisfied, **IT IS ORDERED** that the application for the issuance of a **CONDITIONAL USE PERMIT** be **APPROVED**.

Thus ordered this 4th day of May, 2015.



Al King, Mayor



James D. Womble, City Attorney

CITY OF GOLDSBORO

AGENDA MEMORANDUM

MAY 4, 2015 COUNCIL MEETING

SUBJECT: CU-3-15 Harry Lin – North side of Spence Avenue between East Ash Street and Cashwell Drive

BACKGROUND: The applicant requests a Conditional Use Permit to allow the operation of an internet café/sweepstakes facility (electronic gaming operation).

Frontage: 157 ft.
Depth: 288.41 ft.
Area: 1.04 Acres
Zoning: General Business

The proposed location was formerly occupied by Blockbuster Video and has now been divided into three separate units. The applicant's operation would occupy one of those units.

DISCUSSION: Internet Cafes/Sweepstakes Facilities or Electronic Gaming Facilities are permitted within the General Business zoning district as a Conditional Use. Specific regulations which apply to those uses include the following.

1. No establishment shall be located within 200 ft. of any residentially zoned or developed property, church or school.

The applicant's property line is more than 200 ft. from residentially-zoned or developed property. There is no church or school facility located within 200 ft. of the proposed use and no other such establishment is located within 200 ft. of the subject property.

2. The hours of operation for such uses shall be limited to 7:00 a. m. to 2:00 a. m.

The applicant proposes operation from 9:00 a. m. to 2:00 a. m.

The parking requirement for Internet Café/Sweepstakes facilities is two spaces per computer and one space per employee. In recent cases, however, the Council has determined parking based on 1.5 spaces per computer and one space per employee. Based on 30 computers and 2 employees, a total of 47 spaces are required for that use. The other two units within the structure would require 14

parking spaces for a total of 61 required parking spaces for the development. There are a total of 64 parking spaces available to serve all three units within the structure.

The applicant has submitted a floor plan which indicates the uses proposed within the unit. A total of 30 computers are proposed along with an office area and restrooms.

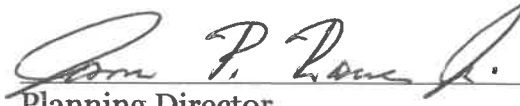
In accordance with an Ordinance adopted by the City Council in April, 2010, the applicant will be required to submit serial numbers for each computer or laptop to be located on the premises to the Inspections Department when applying for a privilege license. A \$2,500 privilege tax per establishment plus a \$500 privilege tax for each computer is required for all or any part of the fiscal year running from July 1 to June 30. State law which prohibits issuance of privilege or business license fees will take effect on July 1, 2015, therefore, this fee will not be charged after that date.

At the public hearing held on April 20, 2015, one person representing an adjacent owner spoke in opposition to the request. One person representing the applicant spoke in favor.

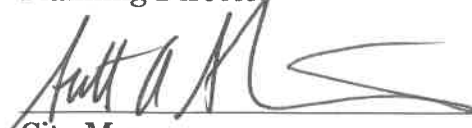
The Planning Commission, at their meeting held on April 27, 2015, recommended denial of the Conditional Use Permit. They felt that the proposed use would not be compatible with existing uses in the area.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and adopt an Order denying the Conditional Use Permit to allow the operation of an internet café/sweepstakes facility (electronic gaming operation). The Council should find that the use would not be compatible or in harmony with existing uses in the area which are predominantly retail.

Date: 4-29-2015


Planning Director

Date: 4-30-15


City Manager

ssj

CITY OF GOLDSBORO

STATE OF NORTH CAROLINA

ORDER **DENYING** A CONDITIONAL USE PERMIT

The City Council of the City of Goldsboro, North Carolina, having held a public hearing on April 20, 2015 to consider Conditional Use Permit application number:

CU-3-15 Harry Lin – North side of Spence Avenue between
East Ash Street and Cashwell Drive

to allow the operation of an internet café/sweepstakes facility (electronic gaming operation), having heard all of the evidence and arguments presented and reports from City officials, makes the following:

FINDINGS OF FACT

1. The City Council finds that there are certain uses that exist which may be constructed, continued and/or expanded if they meet certain mitigating conditions specific to their design and/or operation. Such conditions ensure compatibility among uses and building types so that different uses may be located in proximity to one another without adverse effects to either.
2. Even if the permit-issuing body finds that the application complies with all the other provision of the City's Unified Development Ordinance, it may still deny the permit if it concludes, based upon information submitted at the hearing that, if completed as proposed, the development:
 - a. Will materially endanger the public health or welfare; or
 - b. Will substantially injure the beneficial use of adjoining or abutting property; or
 - c. Will not be in harmony with existing development and uses within the area in which it is located; or
 - d. Will not be in general conformity with the Comprehensive Plan, Thoroughfare Plan or other plan officially adopted by the Council.
3. The City of Goldsboro's Unified Development Ordinance provides the following regulations which are specific to the applicant's request for an Internet Café/Sweepstakes Facility.

Chapter 5.5 Supplemental Use Regulations

5.5.4 Special and Conditional Use Specific Regulations

Internet Café/Sweepstakes Facilities – Electronic Gaming Operations)

Permitted Districts: General Business, Shopping Center, Highway Business and I-2 General Industry. **(The subject property is zoned General Business.)**

Approval Criteria

1. No establishment shall be located within two hundred (200) feet of any residentially zoned or developed property, church or school. Where the

proposed establishment is separated from residentially zoned or developed property by a four-lane highway, the two hundred (200) foot separation shall only apply to the properties along the sides and rear of the establishment. No such establishment shall be located within two hundred (200) feet of any other such establishment.

The proposed internet café would not be located within 200 ft. of residentially-zoned or developed property, church or school.

2. The hours of operation for such operations shall be limited to 7:00 a. m. to 2:00 a. m. Uses which are legally existing at the time of adoption of this ordinance shall have thirty (30) days to come into compliance with the hours of operation limitation as defined in this section.

The applicant's hours of operation were proposed as 7:00 a. m. to 2:00 a. m.

At the public hearing held on April 20, 2015, one person representing an adjacent property owner appeared to speak in opposition to the request.

Upon recommendation of the Planning Commission, the Council found that the proposed use (internet café/sweepstakes facility or electronic gaming operation) would not be in harmony with existing development and uses within the area. Predominantly, uses within the area are of a retail nature.

Based upon the foregoing FINDINGS OF FACT, the City Council makes the CONCLUSION that the proposed use, with the granting of the listed modifications, **DOES NOT** satisfy the general conditions imposed on the Council in its deliberations for issuing a Conditional Use Permit under Section 2.2.8 of the City of Goldsboro Zoning Ordinance.

Upon motion made by Councilmember _____ and seconded by Councilmember _____, the Council **DENIED** the applicant's request for a Conditional Use Permit to allow the operation of an internet café/sweepstakes facility (electronic gaming operation).

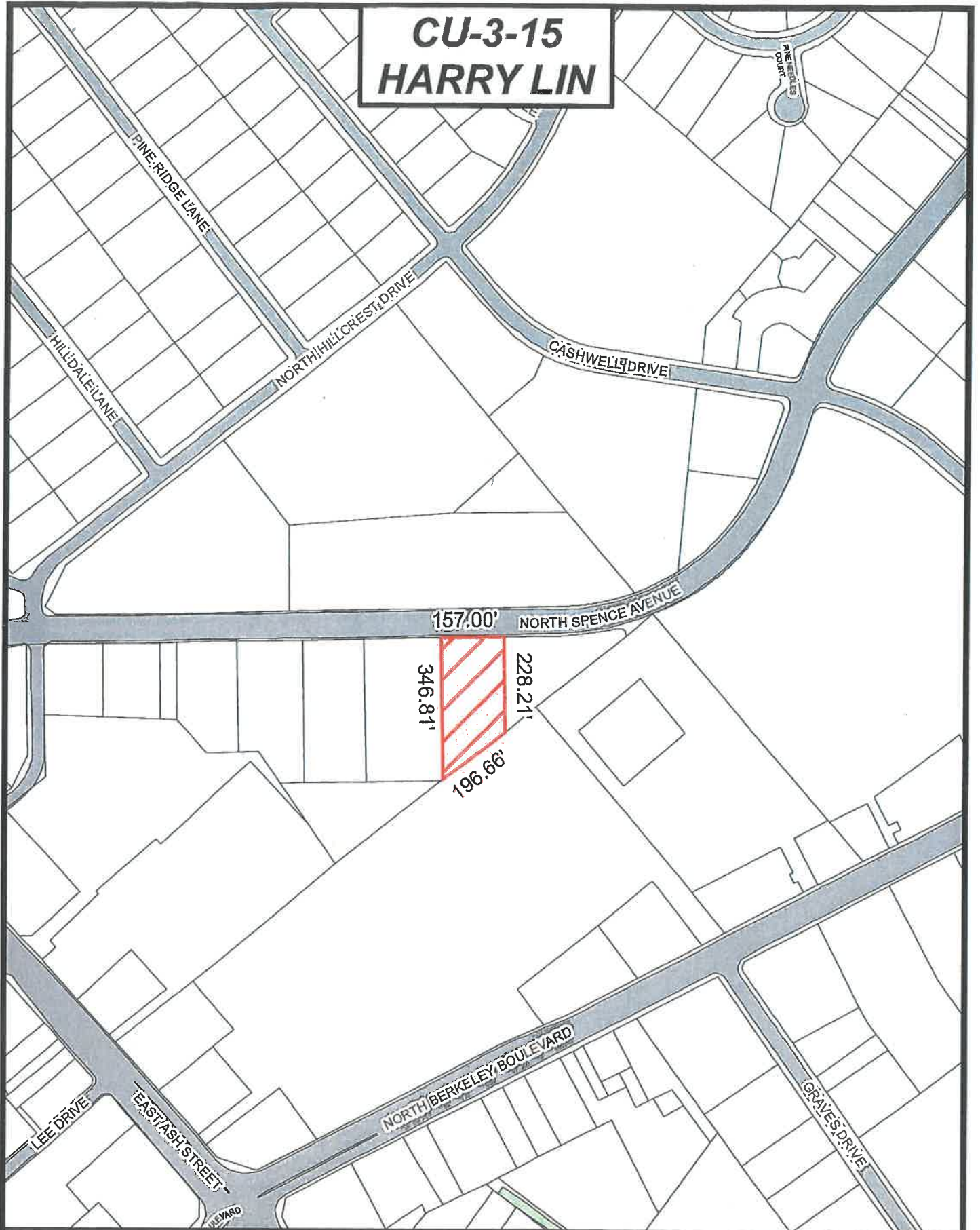
Therefore, because the City Council concludes that the general conditions precedent to the issuance of a CONDITIONAL USE PERMIT **HAVE NOT BEEN SATISFIED**, IT IS ORDERED that the application for the issuance of a CONDITIONAL USE PERMIT to allow the operation of an internet café/sweepstakes facility (electronic gaming operation) be **DENIED**.

Thus ordered this _____ day of _____, 2015.

Al King, Mayor

James D. Womble, City Attorney

CU-3-15 HARRY LIN



The data represented on this map has been compiled by the best available available. Accuracy is not guaranteed. The data is not intended to be used for any purpose other than the general information shown. The City of Goldsboro and the mapmaker assume no legal responsibility for the accuracy or completeness of the data shown on this map. It is the user's responsibility to verify the data shown on this map for any purpose other than the general information shown.

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CU-3-15 HARRY LIN

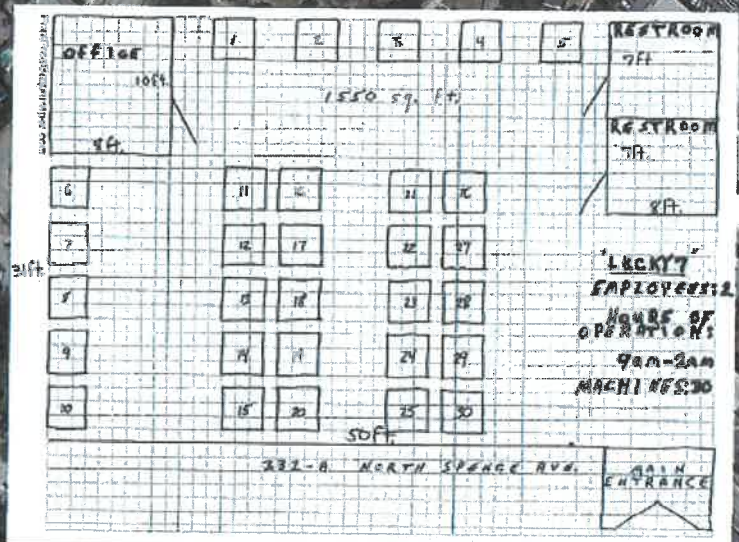


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TBP

CU-3-15 HARRY LIN



157.00'
346.81'
228.21'
196.66'

CITY OF GOLDSBORO SITE PLAN APPROVAL

CITY CLERK

DATE

CITY ENGINEER

DATE

PLANNING DIRECTOR

DATE

OWNER SIGNATURE

DATE

The data represented on this map has been compiled by the best methods available. Accuracy is contingent upon the accuracy of the information as supplied by various agencies and departments both internal and external to the City of Goldsboro, NC. Users of the data represented on this map are hereby notified that the primary responsibility for the accuracy and the complete correctness of the data remains with the user. The City of Goldsboro and the engineer involved in developing these data assume no legal responsibility for the accuracy contained on this map. It is hereby forbidden to sell or reproduce these maps or data for any reason without the written consent of the City of Goldsboro.

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TAP

CITY OF GOLDSBORO

STATE OF NORTH CAROLINA

ORDER DENYING A CONDITIONAL USE PERMIT

The City Council of the City of Goldsboro, North Carolina, having held a public hearing on April 20, 2015 to consider Conditional Use Permit application number:

CU-3-15 Harry Lin – North side of Spence Avenue between
East Ash Street and Cashwell Drive

to allow the operation of an internet café/sweepstakes facility (electronic gaming operation), having heard all of the evidence and arguments presented and reports from City officials, makes the following:

FINDINGS OF FACT

1. The City Council finds that there are certain uses that exist which may be constructed, continued and/or expanded if they meet certain mitigating conditions specific to their design and/or operation. Such conditions ensure compatibility among uses and building types so that different uses may be located in proximity to one another without adverse effects to either.
2. Even if the permit-issuing body finds that the application complies with all the other provision of the City's Unified Development Ordinance, it may still deny the permit if it concludes, based upon information submitted at the hearing that, if completed as proposed, the development:
 - a. Will materially endanger the public health or welfare; or
 - b. Will substantially injure the beneficial use of adjoining or abutting property; or
 - c. Will not be in harmony with existing development and uses within the area in which it is located; or
 - d. Will not be in general conformity with the Comprehensive Plan, Thoroughfare Plan or other plan officially adopted by the Council.
3. The City of Goldsboro's Unified Development Ordinance provides the following regulations which are specific to the applicant's request for an Internet Café/Sweepstakes Facility.

Chapter 5.5 Supplemental Use Regulations

5.5.4 Special and Conditional Use Specific Regulations

Internet Café/Sweepstakes Facilities – Electronic Gaming Operations)

Permitted Districts: General Business, Shopping Center, Highway Business and I-2 General Industry. **(The subject property is zoned General Business.)**

Approval Criteria

1. No establishment shall be located within two hundred (200) feet of any residentially zoned or developed property, church or school. Where the

proposed establishment is separated from residentially zoned or developed property by a four-lane highway, the two hundred (200) foot separation shall only apply to the properties along the sides and rear of the establishment. No such establishment shall be located within two hundred (200) feet of any other such establishment.

The proposed internet café would not be located within 200 ft. of residentially-zoned or developed property, church or school.

2. The hours of operation for such operations shall be limited to 7:00 a. m. to 2:00 a. m. Uses which are legally existing at the time of adoption of this ordinance shall have thirty (30) days to come into compliance with the hours of operation limitation as defined in this section.

The applicant's hours of operation were proposed as 7:00 a. m. to 2:00 a. m.

At the public hearing held on April 20, 2015, one person representing an adjacent property owner appeared to speak in opposition to the request.

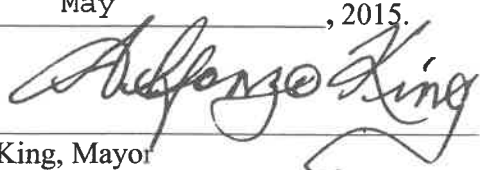
Upon recommendation of the Planning Commission, the Council found that the proposed use (internet café/sweepstakes facility or electronic gaming operation) would not be in harmony with existing development and uses within the area. Predominantly, uses within the area are of a retail nature.

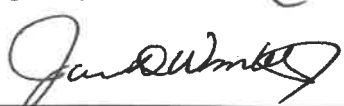
Based upon the foregoing FINDINGS OF FACT, the City Council makes the CONCLUSION that the proposed use, with the granting of the listed modifications, **DOES NOT** satisfy the general conditions imposed on the Council in its deliberations for issuing a Conditional Use Permit under Section 2.2.8 of the City of Goldsboro Zoning Ordinance.

Upon motion made by Councilmember Allen and seconded by Councilmember Williams, the Council **DENIED** the applicant's request for a Conditional Use Permit to allow the operation of an internet café/sweepstakes facility (electronic gaming operation).

Therefore, because the City Council concludes that the general conditions precedent to the issuance of a CONDITIONAL USE PERMIT **HAVE NOT BEEN SATISFIED**, IT IS ORDERED that the application for the issuance of a CONDITIONAL USE PERMIT to allow the operation of an internet café/sweepstakes facility (electronic gaming operation) be **DENIED**.

Thus ordered this 4th day of May, 2015.


Al King, Mayor


James D. Womble, City Attorney

CITY OF GOLDSBORO

AGENDA MEMORANDUM

MAY 4, 2015 COUNCIL MEETING

SUBJECT: Site and Landscape Plan – Dollar General

BACKGROUND: The property is located on the west side of NC 111 South between US 70 East and Mount Airy Road.

Frontage: 178 ft.

Area: 56,717 sq. ft. or 1.302 acres

Zoning: General Business (Noise Overlay District)

The property is currently vacant and has been farmed in the past.

DISCUSSION: The submitted site plan indicates a 9,026 sq. ft., one-story building for retail sales.

Hours of Operation: 8:00 a. m. to 9:00 p. m.
Monday – Saturday

10:00 a. m. – 8:00 p. m.
Sunday

No. of Employees: 4 per shift on two shifts;

The subject property is located within the 75-79 decibel Noise Overlay District associated with Seymour Johnson Air Force Base. The proposed use as retail sales is permitted provided 30% noise attenuation measures are incorporated into the building construction. Staff has submitted the plans to officials at Seymour Johnson Air Force Base. They have indicated that they have no concerns regarding this development.

A total of 36 parking spaces are required and 36 spaces are shown (including two handicapped spaces) on the site plan.

One proposed curb cut is shown from NC 111 through a proposed 50 ft. access easement. Access to the Dollar General parking lot will be provided through an easement on the north side of that drive aisle. Future developments will feature ingress and egress through this drive aisle as well to

avoid multiple curb cuts.

NCDOT will require a right-turn deceleration lane for traffic traveling south on NC 111 entering the drive aisle.

Interconnectivity has been shown to adjacent property to the north.

A dumpster location is shown which will be screened in accordance with City standards.

Interior sidewalks have been provided, however, sidewalks along NC 111 are not shown. If not to be provided, the developer will be required to pay a fee in lieu of sidewalk construction in the amount of \$2,670.

Stormwater calculations have been submitted and are currently under review by the City's Engineering Department. A detention pond system is shown to the rear of the building which will be surrounded by a 4 ft. high chain link fence.

Building elevations have been submitted showing the exterior of the structure to be covered with synthetic stucco and red brick veneer. Staff will insure that building materials and design will meet City standards and that roof-mounted HVAC units are screened from off-site view.

Landscape plans indicate eight street trees (Crape Myrtles) along the frontage with Hollies proposed to serve as the required vehicular surface buffer since parking lot spaces are within 15 ft. of the right-of-way. While five additional large trees are required within the protected street yard, the developer has requested a modification to allow planting 8 smaller trees due to overhead wires along the frontage. Interior plantings within end isles will include Maples, Crape Myrtles and Hollies.

A required Type A (5 ft. wide) landscape buffer is shown along the northern, southern and western property lines. Plantings will consist of Crepe Myrtles, Maples and Hollies. Staff will ensure that the proposed Crape Myrtles do not exceed 25% of the small tree requirement due to disease susceptibility.

The Planning Commission, at their meeting held on April 27, 2015, recommended approval of the site, landscape and building elevation plans with a modification to allow

planting eight smaller trees in lieu of five large trees within the protected street yard subject to installation of sidewalks or payment of a fee in lieu and provision of interconnectivity to the south.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and approve the site, landscape and building elevation plans with a modification to allow planting eight smaller trees in lieu of five large trees within the protected street yard subject to:

1. Installation of sidewalks or payment of a fee in lieu of Sidewalk installation; and
2. Provision of interconnectivity to the south.

Date:

4-29-2015

A handwritten signature in dark ink, appearing to read "Don P. Lawrence", written over a horizontal line.

Planning Director

Date:

4-30-15

A handwritten signature in dark ink, appearing to read "Anthony M. [unclear]", written over a horizontal line.

City Manager

ssj

SITE PLAN DOLLAR GENERAL



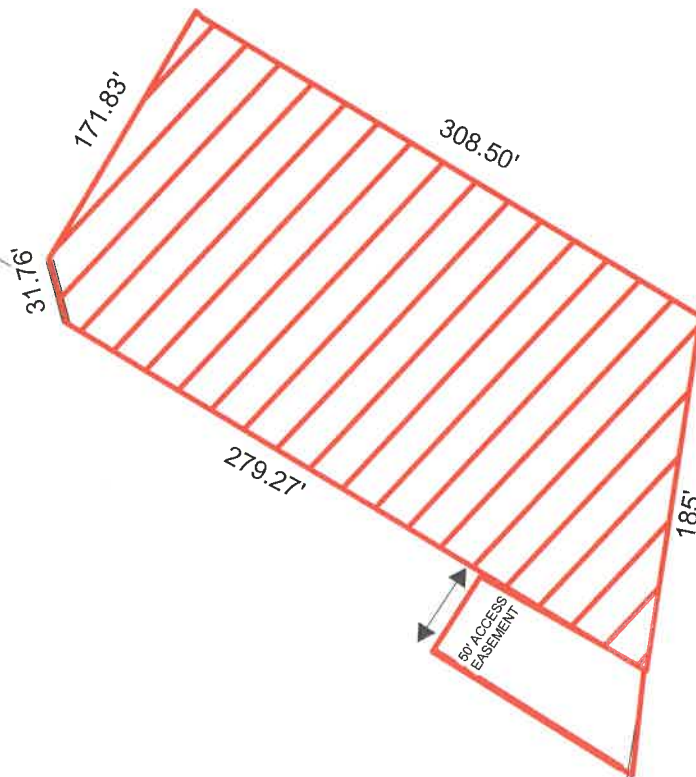
The data represented on this map has been compiled by the best methods available. Accuracy is contingent upon the source information as compiled by various agencies and departments both internal and external to the City of Goldsboro, NC. Users of this data represented on the map are hereby notified that the primary information sources should be consulted for verification of the information contained herein. The City of Goldsboro and the companies contracted to develop these data assume no legal responsibilities for the accuracy contained on this map. It is strictly forbidden to sell or reproduce these maps or data for any reason without the written consent of the City of Goldsboro.

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SITE PLAN DOLLAR GENERAL



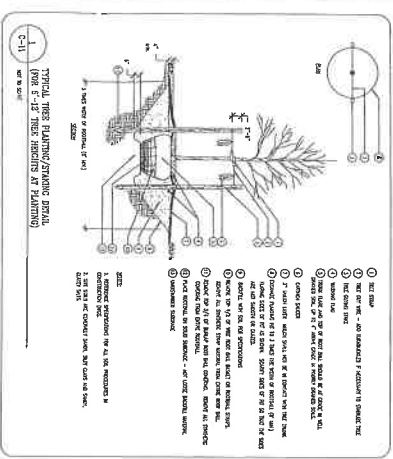
SOUTH NC 111 HIGHWAY

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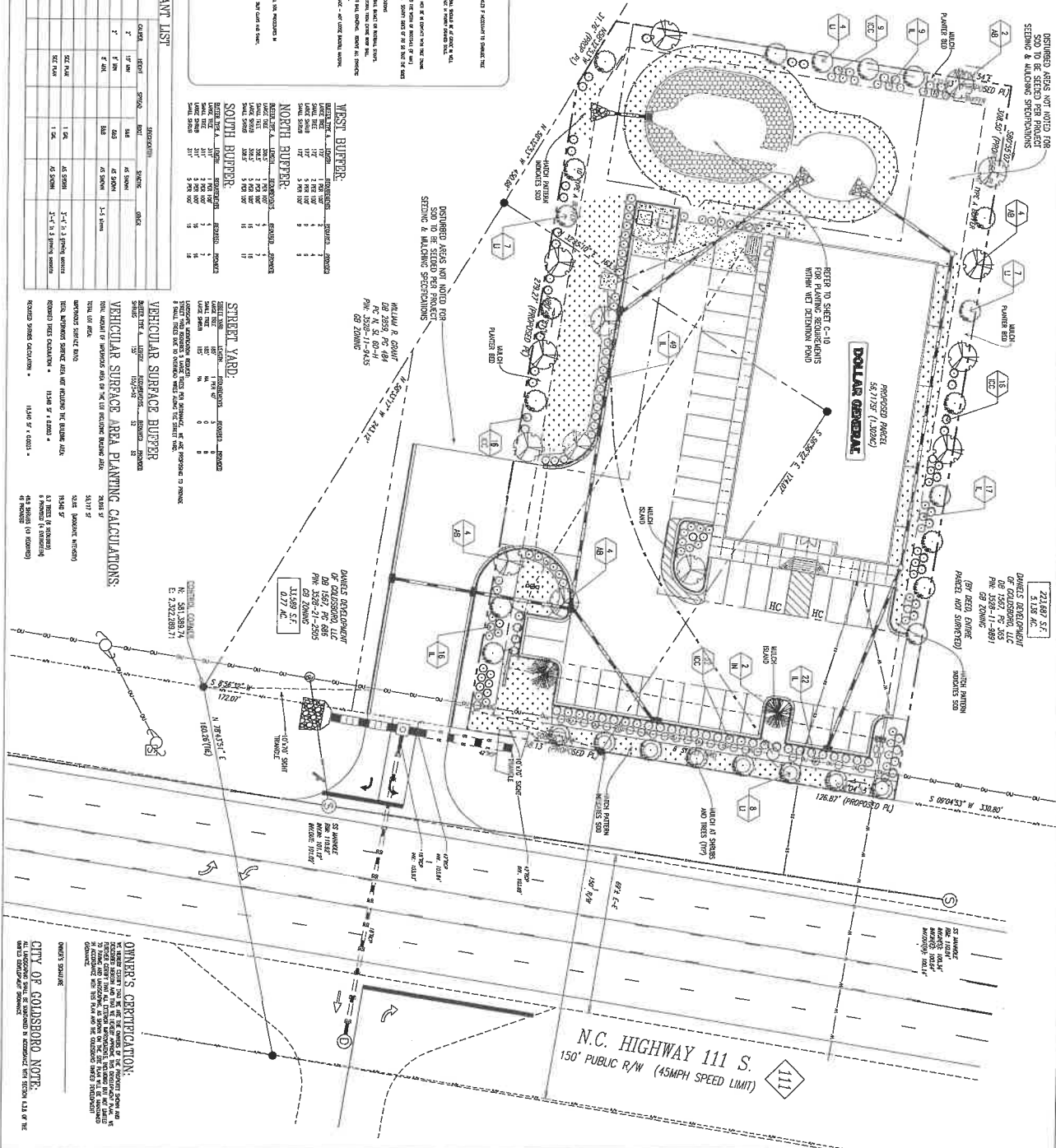
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NORTH BUTTER				SOUTH BUTTER			
DATE	TIME	PERIODS	SCORES	DATE	TIME	PERIODS	SCORES
LAKER	11:17	1	138 100	1	138 100	1	138 100
SO. BUTTER	11:17	2	138 100	2	138 100	2	138 100
LAKER	11:17	3	138 100	3	138 100	3	138 100
SO. BUTTER	11:17	4	138 100	4	138 100	4	138 100
LAKER	11:17	5	138 100	5	138 100	5	138 100
SO. BUTTER	11:17	6	138 100	6	138 100	6	138 100
LAKER	11:17	7	138 100	7	138 100	7	138 100
SO. BUTTER	11:17	8	138 100	8	138 100	8	138 100
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LAKER	11:17	15	138 100	15	138 100	15	138 100
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SO. BUTTER	11:17	48	138 100	48	138 100	48	138 100
LAKER	11:17	49	138 100	49	138 100	49	138 100
SO. BUTTER	11:17	50	138 100	50	138 100	50	138 100



OWNER'S CERTIFICATION:
WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE HEREBY APPROVE THIS DEVELOPMENT PLAN. WE HEREBY CERTIFY THAT WE HAVE READ AND UNDERSTAND THE CITY OF GOLDSBORO ZONING ORDINANCE TO WHICH THIS PLAN IS SUBJECT AND THAT WE HAVE MADE ALL NECESSARY CHANGES TO THIS PLAN TO BE IN ACCORDANCE WITH THIS PLAN AND THE GOLDSBORO UNITED DEVELOPMENT ORDINANCE.

OWNER'S SIGNATURE:

CITY OF GOLDSBORO NOTE:
ALL DEVELOPMENTS MUST BE SUBMITTED IN ACCORDANCE WITH SECTION 2.2.5 OF THIS ORDINANCE.

CAD/CUT COORD:	WEST
PLANNING MGR.	HEB
DRAWING BY:	HEB
DATE:	4/3/75
JOB NUMBER:	0040620
TITLE:	

LANDSCAPE PLAN

SHEET NUMBER:

C-11

CHANGES:

OWNER/DEVELOPER:
CLARK PEST RENT, LLC
3600 Arden Drive
Suite 210
Atlanta, GA 30306
800-465-5567
813-465-5564
813-465-5564 fx
clark@clarkpest.com

DOLLAR GENERAL

----- NC Highway 111
Goldsboro, North Carolina
Wayne County

SEAL

PRELIMINARY
DO NOT USE
FOR CONSTRUCTION
FOR PERMITTING ONLY



 **TRIANGLE**
SITE DESIGN

CONSULTANT:

Triangle Site Design, PLLC
4006 Barrett Drive
Suite 203
Raleigh, NC 27609
(919) 553-8370
mlender@trianglesitedesign.com
NC J22052-P-0019

CITY OF GOLDSBORO

AGENDA MEMORANDUM

MAY 4, 2015 COUNCIL MEETING

SUBJECT: Site and Landscape Plan - Wayne Assisted Living Facility

BACKGROUND: The site is located on the north side of West New Hope Road between Hare Road and New Hare Road.

Frontages: 664 ft. (West New Hope Road)
595 ft. (Hare Road)
1,012 ft. (New Hare Drive)
Lot Area: 8.11 Acres
Zoning: Office & Institutional-1 Conditional District

Zoning for the property was changed from Neighborhood Business to Office and Institutional-1 Conditional District (for an assisted living facility) on February 2, 2015. Development plans were not submitted at that time but were required prior to issuance of building permits.

DISCUSSION: The submitted site plan indicates a proposed 45,136 sq. ft. one-story assisted living facility to contain 107 beds facing West New Hope Road. A total of 46 parking spaces (including 2 handicapped spaces) are shown which is the number required based on one space per four beds plus one space per employee. A total of 20 employees are proposed.

Stormwater calculations for the site are currently being reviewed by the City's Engineering Department. Two dry detention ponds are proposed to accommodate stormwater and will be properly screened from the right-of-way.

Access to the property is provided by two new curb cuts on New Hare Drive. No direct access to New Hope Road has been proposed. NCDOT has reviewed the site plan and driveway permits are not necessary since the facility is being served internally from New Hare Drive. .

The submitted landscape plan indicates street trees (Red Maples) along all three road frontages. Vehicular Surface Area plantings will be installed within parking lot islands and will consist of Red Maples, Abelia, Chokeberry and Hollies.

Interior sidewalks are provided around the proposed building. There are existing sidewalks on the north side of New Hare Road. The applicant will be required to install sidewalks along both New Hope Road and Hare Road or pay the fee in lieu of exterior sidewalk installation at a rate of \$15 per linear foot of frontage for a total of \$18,885.

The proposed dumpster location is properly screened by a six ft. brick enclosure.

Lighting will be provided by exterior pole lights and staff is working with the applicant to ensure all proposed lighting meets the requirements of the City's lighting design standards.

A rendering of the proposed building has been submitted and staff has requested detailed building elevations for review prior to an issuance of a building permit. The rendering indicates that construction materials will include cedar shakes and natural stone materials and that extensive foundation plantings are proposed.

At their meeting held on April 27, 2015, the Planning Commission recommended approval of the site, landscape and building elevation plans subject to installation of sidewalks along New Hope Road and Hare Road or payment of a fee in lieu.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and approve the site, landscape and building elevation plans subject to installation of sidewalks or payment of a fee in lieu of sidewalk installation.

Date: 4-29-2015

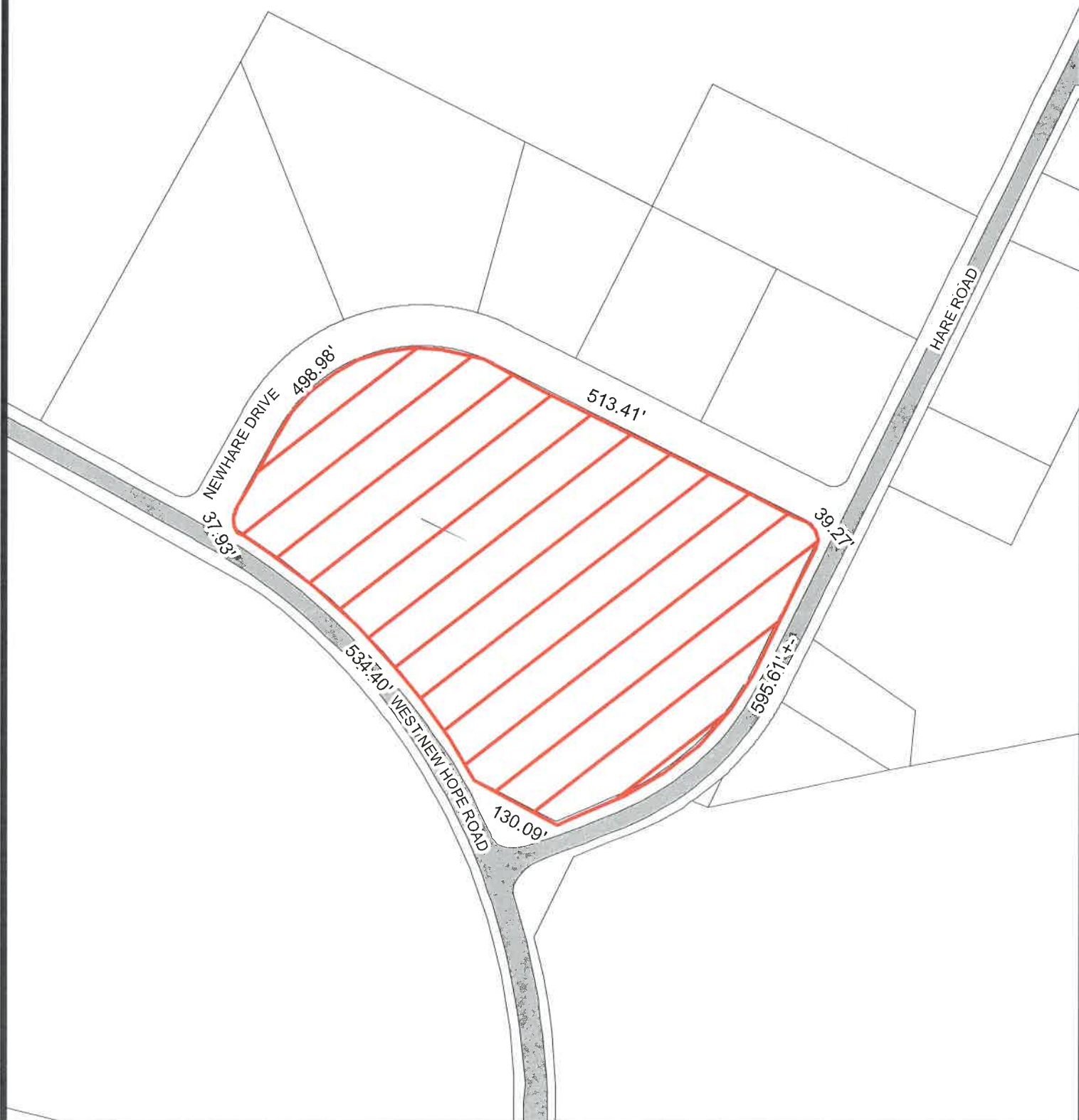

Planning Director

Date: 4-30-15


City Manager

ssj

SITE PLAN WAYNE ASSISTED LIVING FACILITY NEW HOPE



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SITE PLAN WAYNE ASSISTED LIVING FACILITY NEW HOPE



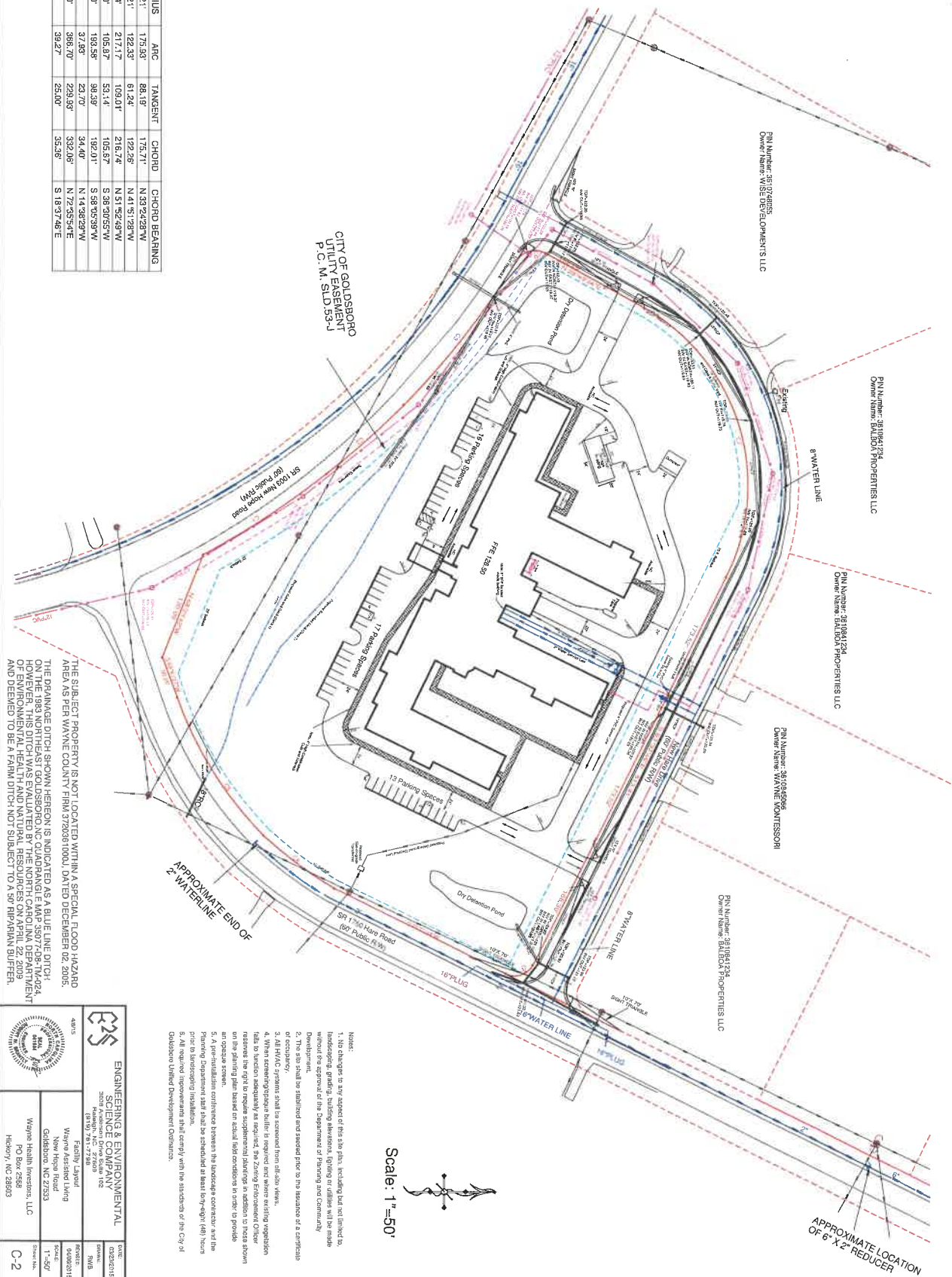
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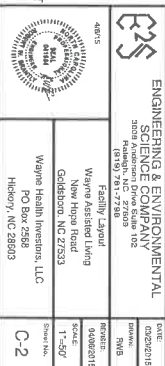
- Property Line
- Property Line Subtasks
- Sewer Easement
- Existing 11' Corridor
- Modified 11' Corridor
- Proposed Sewer Easement
- Sewer Lines (Proposed and Existing)
- Small/Ditch
- Stormwater Pipe (Proposed and Existing)
- Overhead Electrical Lines
- Proposed Streetwalk
- Proposed Fire Dept. Connection
- 17' Half-Way-Point and Existing
- Proposed Sewer Channel
- Power Manhole
- Power Pole

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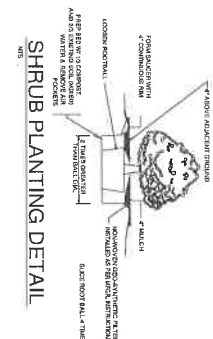
Scale: 1"=50'

Notes:

1. No changes to any aspect of this law plan, including but not limited to, landscaping, grading, building materials, fencing or utilities will be made without approval of the Department of Planning and Community Development.
2. The site shall be established and sited prior to the issuance of a certificate of occupancy.
3. All AHJHC programs shall be screened from all other uses.
4. When landscaping program is required, the Zoning Enforcement Officer shall be notified adequately in writing, the Zoning Enforcement Officer retains the right to require landscape coverage in addition to those conditions set forth in the zoning ordinance in order to provide for the screening and buffer between adjacent lots.
5. A performance standard between the landscape contractor and the Planning Department shall be scheduled at least forty-eight (48) hours prior to landscaping installation.
6. All other rules and regulations shall comply with the standards of the City of Madisonville Urban Development Commission.



- Adjoint Property Line
- Sublot
- Sewer Easement
- Existing 11' Corridor
- Main Water (Proposed and Existing)
- Sanitary Sewer (Proposed and Existing)
- Sanitary Sewer
- Stormwater Pipe (Proposed and Existing)
- Electrical Lines
- Proposed Sewerline
- Proposed Fire Dept. Connection
- Fire Hydrant (Proposed and Existing)
- Proposed Sewer Cleanout
- Sewer Manhole
- Power Poles



Total Impervious Area: 99,752 sf
Total Lot Area: 353,271 sf
Impervious Surface Ratio: 0.28
Trees Required: 11
Shrubs Required: 82

Note: Install Street Trees (Red Maple) at approximately 40 ft. intervals

Note: Detention Ponds shall be screened using evergreen shrubs

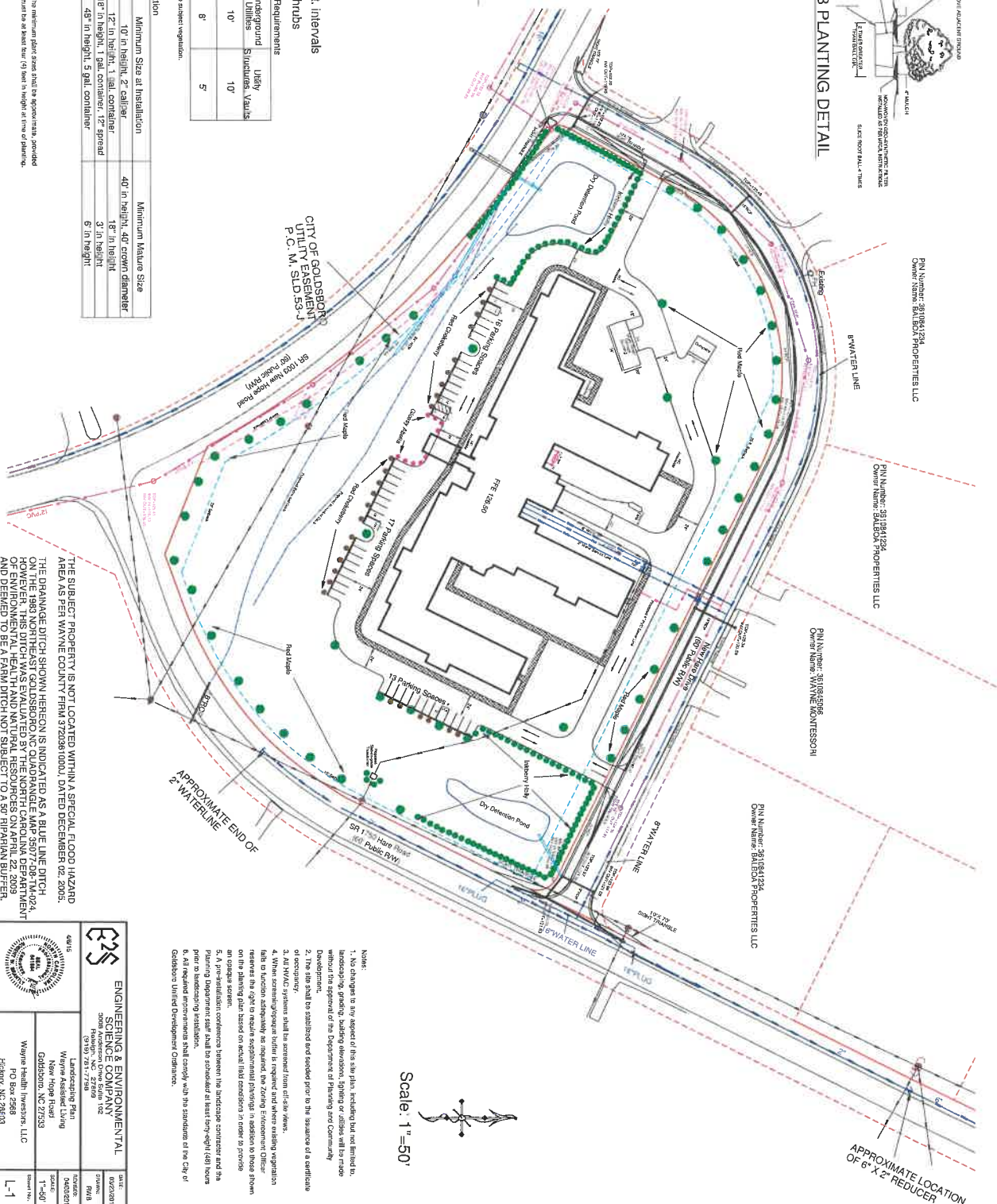
Tree Type	ROW Lines	Sidewalks	Buildings	Overhead Utilities	Underground Utilities	Utility Structures/Venues
Large Trees +gt 100sq ft	4.5'	4.5'	10'	15'	10'	10'
Small Trees lt 100 sq ft	4.5'	4.5'	5'	10'	8'	5'

Note: All measurements shall be made horizontally from the center of the trunk at the base of the subject's vegetation.

Minimum Plant Sizes at Installation

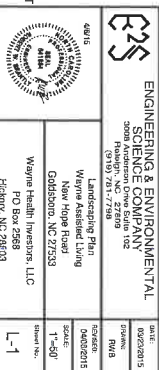
Symbol	Material type	Species	Minimum Size at Installation	Minimum Mature Size
Large Tree		Red Maple (<i>Acer rubrum</i>)	10 ft in height, 2" caliper	40 ft in height, 40" crown diameter
Small Shrub	●	Cross Aestiva (<i>Achillea grandifolia</i>)	12" in height, 1 gal container	18" in height
Medium Shrub	●	Red Cocksfoot (<i>Arundo donax</i>)	18" in height, 1 gal container, 1" spread	18" in height, 1" spread
Screening Shrubbery	●	Indigo Holly (<i>Ilex glabra</i>)	48" in height, 3 gal container	6 in height, 6 in breadth

Note: Caliper measurements for all trees shall be taken at six inches above the ground. The minimum plant sizes shall be approximately, provided the front of these requirements is not compromised. Shrubbery for screening purposes must be at least four (4) feet in height at time of planting.



Scale: 1"=50'

1. No changes in any aspect of the site plan, including but not limited to, landscaping, building envelope, signage or streets will be made.
2. The applicant must submit a letter of support from the Planning and Community Development Department of the Department of Planning and Community Development.
3. The site shall be stabilized and seeded prior to the issuance of a certificate of occupancy.
4. All NACG requirements shall be required from all site plans.
5. When stormwater management is required, there shall be existing vegetation that is species adaptable as required, the Zoning Enforcement Officer shall have the right to require supplemental planting in addition to those on the approved plan based on actual rainfall patterns in order to provide stormwater management.
6. A presentation conference between the landscape contractor and the Planning Department staff shall be conducted at least forty (40) hours prior to landscaping installation.
7. All landscape installation shall comply with the standards of the City of Madison Unified Land Development Ordinance.



CITY OF GOLDSBORO

AGENDA MEMORANDUM

MAY 4, 2015 COUNCIL MEETING

SUBJECT: Site Plan Modification – Laura Melvin (Florist Shop)

BACKGROUND: The property is located on the west side of Wayne Memorial Drive between Eighth and Ninth Streets.

Frontage: 60 ft.

Depth: 145 ft.

Area: 8,700 sq. ft., or 0.20 acres

Zoning: General Business

The structure on the property was previously utilized as a residence. This applicant wishes to convert the structure to allow the operation of a florist shop.

DISCUSSION: The City performed a business inspection of the structure and has listed items which would have to be changed or upfitted in order to meet State Building Codes. These include widening the restroom doorway and providing a ramp for handicapped access.

A floor plan of the building, which contains approximately 1,200 sq. ft., indicates that only 500 sq. ft. of the structure will be utilized for customers (which includes a restroom). The remainder of the building will contain areas for storage, a design room and work station as well as a cooler room and employee restroom.

Based on one parking space per 250 sq. ft. of gross floor area within the entire structure, a total of five (5) paved parking spaces would be required. A gravel driveway extends from Wayne Memorial Drive to the rear of the building and there is adequate space for up to five parking spaces if existing trees are removed. This area is not currently paved.

There is existing plant material along the rear property line. Buffers installed by adjacent properties will be sufficient for screening this lot, however, a modification of the Type A buffers on the north and south is necessary.

The applicant contends that the proposed operation will remain very small and, with less than half of the structure accessible to customers, less parking would be necessary. She has requested a modification to allow only three spaces to be provided for the florist operation and that those spaces not be paved for a period of one year in order to insure the success of the business.

In addition, a modification of the front yard setback requirement for the existing building would be required from 20 ft. to 14 ft. for the front yard and from 15 ft. on each side yard to 8 ft. and 11 ft.

At their meeting held on April 27, 2015, the Planning Commission recommended approval of the site and landscape plans with the requested modifications.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and approve the site and landscape plans with the following modifications:

1. Modification of parking requirement from 5 to 3;
2. Modification of paving requirement for a one-year period;
3. Modification of Type A buffers along the northern and southern property lines; and
4. Modification of front yard and side yard setbacks to accommodate the existing structure.

Date: 4-29-2015

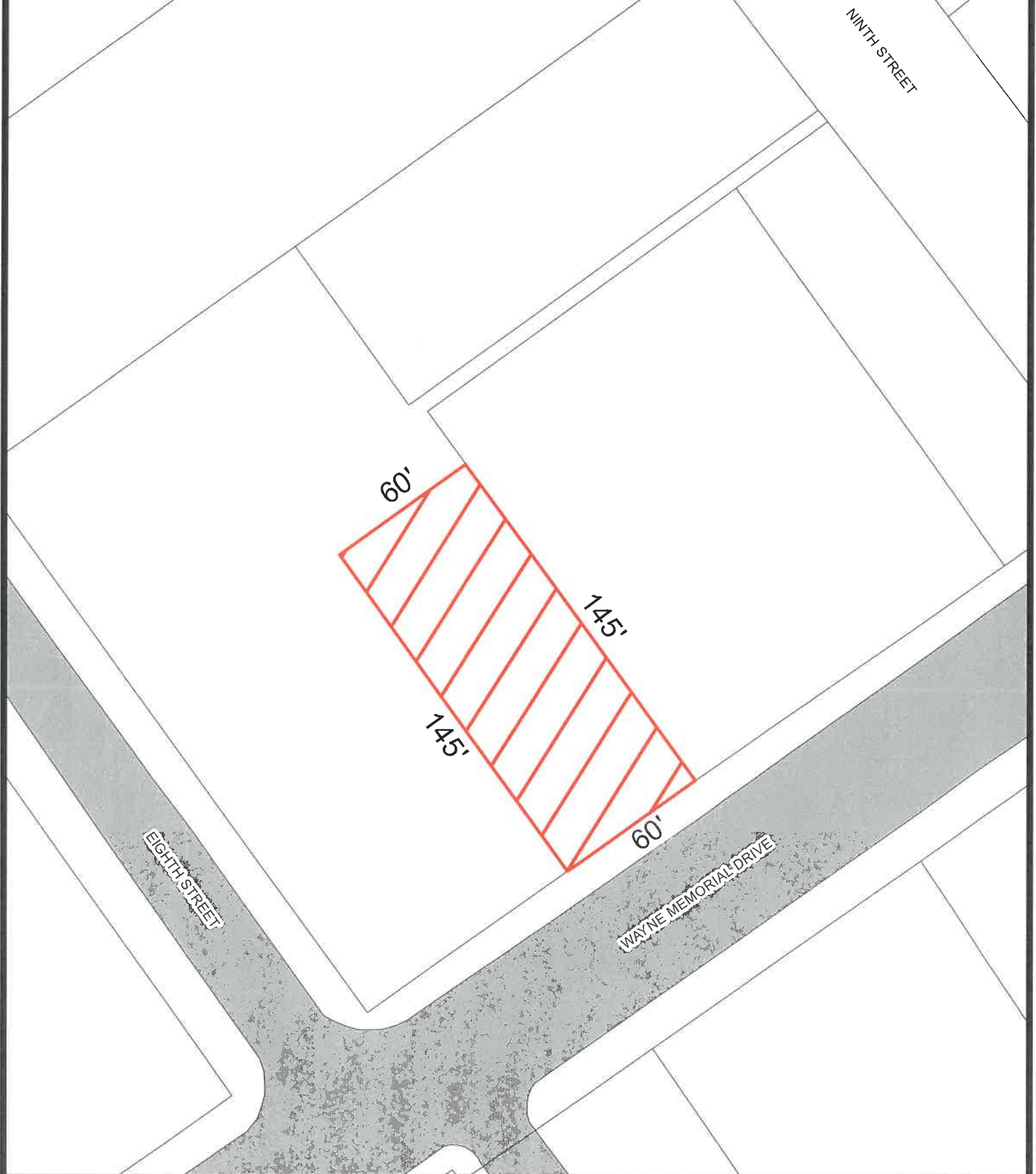

Planning Director

Date: 4-30-15


City Manager

ssj

SITE PLAN LAURA MELVIN- FLORIST



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SITE PLAN LAURA MELVIN- FLORIST



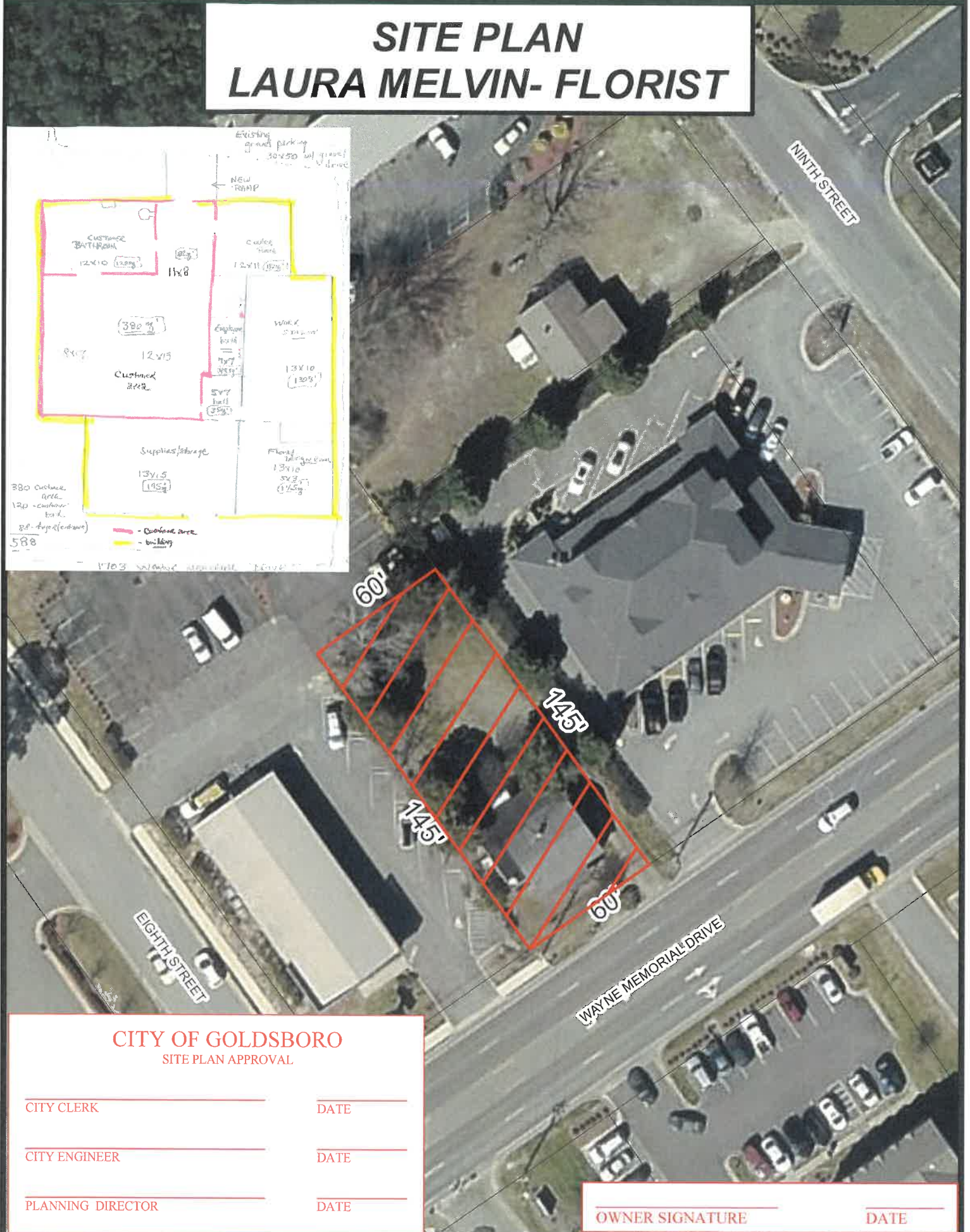
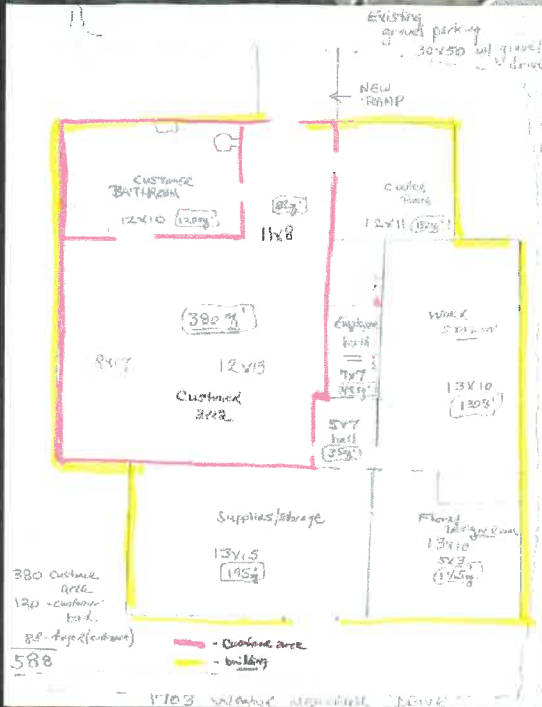
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SITE PLAN LAURA MELVIN- FLORIST



CITY OF GOLDSBORO SITE PLAN APPROVAL

CITY CLERK

DATE

CITY ENGINEER

DATE

PLANNING DIRECTOR

DATE

OWNER SIGNATURE

DATE

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CITY OF GOLDSBORO

AGENDA MEMORANDUM

MAY 4, 2015 COUNCIL MEETING

SUBJECT: Site and Landscape Plan–Worrell Contracting Co., Inc.

BACKGROUND: The site is located on the north side of Industry Court between Patetown Road and North William Street.

Frontage: 188 ft.
Depth: 415 ft. (approx.)
Lot Area: 2.21 Acres
Zoning: I-2 General Industry

The property is currently vacant and was previously owned by the City of Goldsboro. Worrell Contracting purchased the property in 2014 and the property was annexed effective December 31, 2014.

DISCUSSION: The submitted site plan indicates a proposed 3,962 sq. ft. one-story office building placed parallel to Industry Court. In addition, 12 parking spaces (including 1 handicapped space) are shown.

Stormwater calculations for the site are currently being reviewed by the City's Engineering Department.

The proposed office use required a total of 11 parking spaces and the site plan shows 12 parking spaces (including one handicapped space). Interconnectivity has been provided with reserved easements to the east and west of the property.

Access to the property is provided by two new curb cuts on Industry Court. NCDOT has reviewed the site plan and driveway permits must be obtained prior to construction. Access to the rear of the property and storage area is provided by the westernmost curb cut.

The submitted landscape plan indicates street trees along Industry Court and Type A (5 ft. wide) buffers along the eastern and western property lines. The buffers will consist of Maples, Arborvitae, Loropetalum and Hollies. An existing woodlands area of 12,286 sq. ft. meets the buffer requirements to the rear of the property.

Vehicular Surface Area plantings are being installed within the parking lot islands and will consist of Snow Goose Cherry Trees and Dwarf Yaupon Hollies.

Interior sidewalks are provided around the building and the applicant is requesting to pay the fee in lieu of exterior sidewalk installation in the amount of \$2,832.60.

A proposed dumpster will be located at the rear of the building inside a proposed 1,120 sq. ft. storage area. As provided in the City's UDO, the required 8 ft. height for screening outdoor storage areas may be reduced if items to be stored will not exceed 5 ft. in height. The developer has indicated that no items greater than 5 ft. in height will be stored and, therefore, has requested that the height of the opaque fencing be reduced to 6 ft.

Applicant has indicated wall packs and/or exterior accent lighting will be provided on the building. No other lighting is being proposed at this time. All lighting is subject to the requirements of the City's lighting design standards.

Elevation plans have been submitted and the building will predominantly be constructed of brick veneer with a fiberglass shingled roof.

At their meeting held on April 27, 2015, the Planning Commission recommended approval of the site, landscape and building elevation plans subject to payment of the fee in lieu of sidewalk installation.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and approve the site and landscape plans for Worrell Contracting subject to payment of a fee in lieu of sidewalk installation in the amount of \$2,832.60.

Date: 4-29-2015

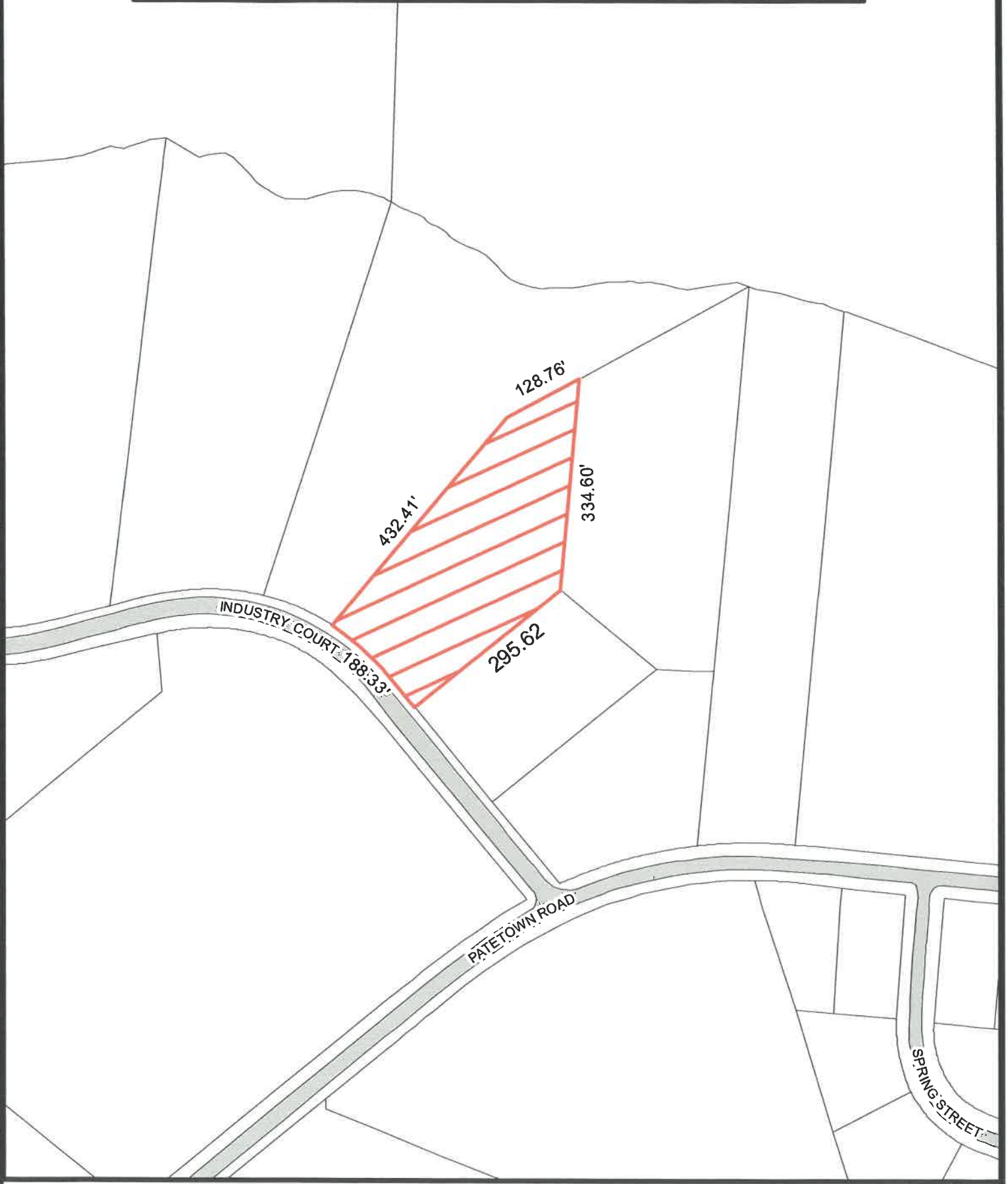

Planning Director

Date: 4-30-15


City Manager

SITE PLAN

WORRELL CONTRACTING CO., INC.



SITE PLAN WORRELL CONTRACTING CO., INC.



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NOTE: CUTTERS ARE DISCOUNTED FOR ALL NON-PROVIDE OFFERS. *SEE "MATERIALS" WITH OWNER AREAS.

CITY OF GOLDSBORO

AGENDA MEMORANDUM

MAY 4, 2015 COUNCIL MEETING

SUBJECT: Site Plan – Rose Brothers Furniture Company

BACKGROUND: The property is located on the north side of Elm Street between Berkeley Boulevard and Lee Drive.

Frontage: 87 ft.

Depth: 239 ft.

Area: 20,793 sq. ft., or 0.48 acres

Zoning: Neighborhood Business

The property was previously utilized as a retail furniture store but has not been licensed since 2009.

The owner wishes to reoccupy the building as a retail furniture establishment. Because the building has been vacant longer than six months, a full retrofit to meet UDO regulations is required.

DISCUSSION: The existing building on the site occupies almost the entire width of the property. A modification of side yard setbacks from 15 ft. to 5 ft. on one side and to 0 ft. on the other side. A modification of the rear yard setback is required from 25 ft. to 20 ft.

There are a total of eight (8) parking spaces existing on the site. The Zoning Code requires one parking space per 500 sq. ft. of display area and one space per 1000 sq. ft. of storage area. The structure contains approximately 11,780 sq. ft. Without the submission of a floor plan, the exact number of parking spaces cannot be determined, however, by estimating that half of the building will be utilized for storage and half for display, a total of 18 parking spaces would be required. A modification of the parking requirement will be necessary.

While the developer owns another adjoining lot to the north of the property, standard access through the furniture site by motor vehicle cannot be provided. This lot can only be accessed through adjacent properties owned by others.

Two full access driveways provide ingress and egress to the site. NCDOT has reviewed the site and determined that both existing driveways may remain.

Due to existing paved area and reduced side yards, landscape buffers cannot be installed. There is only a small grassed area at the front of the site where low-growing shrubs could be installed. There is no area available to provide street trees.

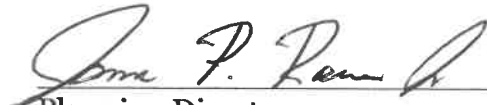
Since the building is existing, sidewalks would not be required for the site.

The Planning Commission, at their meeting held on April 27, 2015, recommended approval of the site plan with all necessary modifications.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and approve the site plan with the following modifications:

1. Modification of side yard setbacks from 15 ft. to 5 ft. on one side and to 0 ft. on the other side;
2. Modification of rear yard setback from 25 ft. to 20 ft.;
3. Modification of required parking to eight spaces; and
4. Modification of interior landscaping, buffering and street trees.

Date: 4-29-2015


Planning Director

Date: 4-30-15


City Manager

ssj

Site Plan Rose Brothers Furniture



CITY OF GOLDSBORO
AGENDA MEMORANDUM
MAY 4, 2015

SUBJECT: SURPLUS AUCTION SALE – GOLDSBORO COUNTRY CLUB

BACKGROUND: The City of Goldsboro purchased the property located at 1501 S. Slocumb Street on February 26, 2015. Since acquiring this property, staff has begun the renovations to this facility.

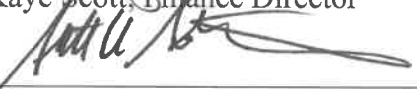
DISCUSSION: The Parks and Recreation staff has identified items within the facility that are not needed and should be surplus. A listing of these items is attached for Council's review. Clark Auction and Liquidation, Inc. have been contacted to execute an auction for a proposed sale date of June 6, 2015 at the 1501 S. Slocumb Street site. The City has utilized a professional auctioneer to administer sales for the surplus property. The auctioneer will advertise the sales along with conducting all the transactions associated when selling the items.

RECOMMENDATION: By motion, adopt the attached resolution authorizing Clark Auction and Liquidation, Inc. as the auctioneer for the sale of the surplus items at 1501 S. Slocumb Street.

Date: 4-30-15


Kaye Scott, Finance Director

Date: 4-30-15


Scott Stevens, City Manager

GOLDSBORO COUNTRY CLUB
 CLARK AUCTION CO. INC.
 Realtors, Auctioneers & Liquidators
 512 N. JOHN ST. GOLDSBORO, NC
 www.clarkauctioninc.com clarkauctionoffi@bellsouth.net

Item	Description	Item	Description	page 1
350	STACK CHAIRS	700	Black refrigerator	
660	19 formal chairs (North Hall)	701	Desk and typing stand	
661	Pair of ball & claw formal chairs	702	Fax machine	
662	Pair of arm chairs(flower pattern)	703	Vacuum cleaner	
663	Burl walnut 2 drawer over 3 chest	704	All closet contents (misc. office supplies)	
664	Oriental mirror	705	14 round tables	
665	Vase and flowers	706	18 rectangle tables	
666	R.W. Griffin -water color painting	707	6 cocktail tables	
667	Old photo-Court house	708	3 sectional tables	
668	Old photo-Herman Park	709	Mahogany Bowfront server w/burl door fronts	
669	Old photo-Trolley Car	710	3x5 gold framed beveled mirror	
670	Old photo-Trolley Car	711	Pair wall scontz	
671	Old photo-Paramount Theater	712	3 tables	
672	Old photo-City Hall	713	Gold framed pineapple picture	
673	Old photo-Statue in Willow Dail Cemetery	714	Brown stacking chairs (350 count) sells per chair	
674	3 drawer burl walnut chest	715	32 formed stack chairs	
675	Old Humidor box	716	31 Chippendale walnut dining chairs	
676	3 drawer over 3 walnut server	717	27 barrel back chairs (lepard pattern)	
677	Oriental lamp	718	11 patio chairs	
678	Fern Stand and Vase	719	21 plastic patio tables	
679	Mirror	720	25 dinette chairs	
680	Office chair	721	18 orange arm chairs	
681	File cabinet	722	GOLD MIRROR OVER MANTEL	
682	Desk	723	WOOD DESK	
683	Table	724	WOOD DESK	
684	Book case	725	WOOD DESK	
685	Antique mirror	726	11 FOLDING TABLES	
686	Gold framed painting	727	FLIP TOP TABLE	
687	Gold framed painting	728	FLIP TOP TABLE	
688	Paper shredder	729	FLIP TOP TABLE	
689	Heater	730	PODIUM	
690	Misc. contents of closet	731	PODIUM	
691	Office copy machine	732	6 HIGH CHAIRS	
692	Desk	733	6 BOOSTER SEATS	
693	Chair	734	TABLE - PATIO STYLE	
694	2 drawer file cabinet	735	TABLE - PATIO STYLE	
695	Gold framed picture	736	TABLE - PATIO STYLE	
696	Black cabinet and supplies	737	WINDOW UNIT A/C	
697	Wire phone stand	739	BUS CART	
698	Shaw Walker safe	740	CHASE OFFICE STYLE	
699	3 file cabinets	741	GOLD FRAMED 4X5 MIRROR - LOBBY	

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Item	Description	Item	Description	page 2
742	2 DRAWER HALL TABLE W/BENCH	783	FOX HUNT "PLATE 2" GOLD FRAME PRINT	
743	PAIR LAMPS	784	PINE BUFFET SERVER	
744	QUEEN ANN WALNUT END TABLE	785	END TABLE	
745	PAIR OF CHAIRS	786	7 ROUND TABLES	
746	FERN STAND/FLOWER	787	PICTURE GOLD FRAME	
747	FERN STAND/FLOWER	788	6 SHELF WALL UNITS	
748	WROUGHT IRON TABLE	789	SHELF CONTENTS	
749	WROUGHT IRON CHAIRS - 4	790	ENTERTAINMENT CENTER	
750	LOBBY MIRROR - GOLD FRAMED BEVELED GLASS 5X3	791	PAIR OF LAMPS	
751	HENKEL HARRIS - QUEEN ANN WALNUT BUFFET	792	COFFEE TABLE/2 END TABLES	
752	PAIR OF FABRIC COVERED BENCHES	793	TIN PLANTER	
753	PAIR OF FRENCH PROVENCIAL CHAIRS	794	SOFA/LOVE SEAT	
754	PAIR OF WHITE PLANTERS	795	STUFFED SIDE CHAIR	
755	CHAIR/TABLE	796	3 BAY STAINLESS SINK	
756	CHAIR/TABLE	797	WOODEN BAR COUNTER	
757	FRAMED WATER COLOR PRINT	798	FIRE EXTINGUISHER	
758	PAIR OF LIGHTED TREES IN PLANTER	799	PICTURE	
759	ORIENTAL LAMP	800	GOLDSBORO COUNTRY CLUB SIGN	
760	DREXEL SECRETARY DESK	801	APPROX 600 SMALL DISHES	
761	PICTURE	802	APPROX 80 PCS MISC GLASSES/MUGS	
762	PLANTER ORIENTAL	803	APPROX 8 PCS MISC GLASSES	
763	UMBRELLA STAND	804	MISC FLATWARE/TRAYS	
764	WALNUT TABLE	805	APPROX 100 PLATES	
765	BOARD - FRAME	806	48 PLATES	
766	ROUND TABLE - 6	807	58 PCS MISC DISHES	
767	2 TABLES	808	APPROX 50 STAINLESS PLATE COVERS	
768	FLATWARE CABINET	809	STEMWARE/CUPS/BOWLS 175 PIECES	
769	ORIENTAL SCREEN	810	1 LOT OF CUPS/GLASSES IN (6 RACKS/2 BOXES)	
770	4 LIGHT FIXTURES	811	1 TABLE LOT CLEAR PLATES (APPROX 750)	
771	FORMAL TABLE W/SERPENTINE FRONT	812	1 LOT CHINA CLEAR GLASS	
772	ORNATE GOLD FRAMED MIRROR	813	CART/PLATES	
773	3 FLOWER VASES	814	CONTENTS OF CART - SMALL PLASTIC	
774	PAIR OF QUEEN ANN WING BACK CHAIRS	815	CART	
775	2 GLASS TABLES W/LAMP	816	CUP/BOWLS APPROX 125	
776	2 GLASS TABLES W/LAMP	817	25 RACKS OF GLASS/STEMWARE/2 COOLERS	
777	GLASS COFFEE TABLE	818	5 CASES OF NEW GLASS	
778	GLASS COFFEE TABLE	819	BAKEWARE/BASKETS	
779	GREEN SOFA	820	TRAYS/TUB	
780	GREEN SOFA	821	TEA DISPENSERS/TRAYS	
781	TRUE BAR REFRIGERATOR			
782	SCOTCHMAN ICE MAKER			

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Item Description

Item Description

page 3

822	1 LOT OF TABLE DECOR	_____
823	1 TABLE LOT SERVING PANS	_____
824	1 TABLE LOT SERVING PANS	_____
825	1 TABLE OF SERVING PANS	_____
826	COFFEE URN - NEW	_____
827	BAKING PANS	_____
828	NEW SERVING DISH	_____
829	1 LOT SERVING PANS	_____
830	1 LOT 20 PCS SERVING PIECES	_____
831	1 LOT SERVING PIECES	_____
832	TOMATO SLICER	_____
833	GREEN/WHITE BOAT	_____
834	CART	_____
835	28 OYSTER KNIVES	_____
836	1 LOT OF GLASSES ETC	_____
837	CANDLES/DECORATION	_____
838	4 BURNER UNITS	_____
839	COFFEE WARMERS	_____
840	22 COFFEE POTS	_____
841	TEA PITCHER	_____
842	BURNER UNITS	_____
843	MISC DISPOSABLE PLATES LIDS ETC.	_____
844	7 TRAYS OF FLATWARE	_____
845	SHELF UNIT	_____
846	SHELF UNIT	_____
847	SHELF UNIT	_____
848	SHELF UNIT	_____
849	STAINLESS SHELF	_____
850	STAINLESS SINK/COUNTER	_____
851	STAINLESS TABLES	_____
852	STAINLESS TABLES	_____
853	STAINLESS TABLES	_____
854	STAINLESS TABLES	_____
855	3 BAY STAINLESS SINKS	_____
856	HOBART STERLIZER	_____
857	TABLE	_____
858	COMPUTER	_____
859	WALK-IN FREEZER	_____
860	APPROX 20 TABLES	_____
861	9 SECTIONS OF WROUGHT IRON FENCE	_____
862	WALL DECOR	_____
863	PORTABLE BAR	_____
864	DESK	_____
865	SOFA/LOVESEAT	_____
866	GYM SET SWING/SLIDE	_____
867	STAINLESS BAR	_____
868	8 TRAY STANDS	_____

RESOLUTION NO. 2015- 31

RESOLUTION AUTHORIZING CLARK AUCTION AND LIQUIDATION, INC. TO
ACT AS AUCTIONEER FOR SALE AT 1501 S. SLOCUMB STREET

WHEREAS, the City Council has determined that the City has surplus items to sale at 1501 S. Slocumb Street; and

WHEREAS, the City Council has determined that the items are to be sold at a public auction to be held on June 6, 2015 at 1501 S. Slocumb Street following proper advertisement.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and City Council of the City of Goldsboro, North Carolina that the following fees be adopted:

1. The City Manager is hereby authorized to enter into an agreement on behalf of the City of Goldsboro with Clark Auction and Liquidation, Inc. for professional services pertaining to this sale.
2. This Resolution shall be in full force and effect from and after this the 4th day of May, 2015.

Approved as to Form Only:



City Attorney

Reviewed by:



City Manager

CITY OF GOLDSBORO
AGENDA MEMORANDUM
MAY 4, 2015 COUNCIL MEETING

SUBJECT: Approval of Employee Health, Dental and Life Insurance Rates for FY 2015-16

BACKGROUND: In preparation for the upcoming fiscal year budget, the City's Benefits Committee and staff have discussed the City's upcoming renewal rates for health, dental and life coverage. The City offers dental insurance coverage to all its employees as a voluntary deduction along with life insurance coverage paid by the City. The current carrier had agreed to a fixed rate for two years, which will expire June 30, 2015.

DISCUSSION: At the April 6, 2015 Council Meeting, the renewal rates and plan design were discussed as follows:

Dental Renewal (Metlife)

Dental Renewal (Same Plan Design)	PPO Low Option - Plan 1		PPO High Option - Plan 2	
	Current (Assurant)	Renewal (Metlife)	Current (Assurant)	Renewal (Metlife)
EE Only	\$ 14.20	\$ 19.23	\$ 20.44	\$ 28.40
EE + Spouse	\$ 27.22	\$ 36.88	\$ 39.68	\$ 55.14
EE + Child(ren)	\$ 39.68	\$ 53.81	\$ 55.56	\$ 77.21
EE + Family	\$ 52.70	\$ 71.43	\$ 74.80	\$ 103.94

The City's life insurance renewal would changes from \$5,000 for employees and \$10,000 for department heads to \$10,000 for all employees with Metlife. The cost would be an annual increase to the City of approximately \$4,067.

CIGNA (Fully-Insured High-Deductible Plan) Renewal

RATES	Current Rate	Renewal Rate	Monthly Subsidy Per Person	Annual Subsidy
Employee	\$ 628	\$ 658	\$ -	-
Employee/Spouse	\$ 470	\$ 478	\$ -	-
Employee/Children	\$ 385	\$ 392	\$ 152	\$ 116,736
Family	\$ 855	\$ 869	\$ 119	\$ 4,284

RECOMMENDATION: It is recommended that Council approve the abovementioned renewal rates for dental, life and health insurance to be effective July 1, 2015.

DATE: _____

Kaye Scott, Finance Director

DATE: 5-7-15



Scott Stevens, City Manager

CITY OF GOLDSBORO
AGENDA MEMORANDUM
MAY 4, 2015 COUNCIL MEETING

SUBJECT: Authorization to File Application for Approval with the North Carolina Local Government Commission for the Financing of the W. A. Foster Recreation Center and the property located at 1501 S. Slocumb Street

BACKGROUND: In September 2014, the City Council authorized the contract with T.A. Loving Company for the design-build team for the construction of W. A. Foster Recreation Center. Also, in February and March, 2015, Council approved the purchase and renovations of the property located at 1501 South Slocumb Street.

DISCUSSION: The City Council had declared its intent to finance the W. A. Foster Recreation Center along with the purchase and renovations to the property located at 1501 South Slocumb Street. A public hearing was held on April 6, 2015 proposing to finance these projects. Staff is asking that Council adopt the attached resolution authorizing the Finance Director to file an application with the Local Government Commission for the financing of these two projects.

RECOMMENDATION: It is recommended that the attached Resolution be adopted authorizing the Finance Director to file an application with the North Carolina Local Government Commission for the construction of the W. A. Foster Recreation Center along with the purchase and renovations of the property located at 1501 South Slocumb Street.

Date: 5-4-15


Kaye Scott, Finance Director

Date: 5-4-15


Scott Stevens, City Manager

RESOLUTION NO. 2015- 32

RESOLUTION AUTHORIZING THE FILING OF AN APPLICATION FOR APPROVAL OF A FINANCING AGREEMENT AUTHORIZED BY NORTH CAROLINA GENERAL STATUTE 160A-20

WHEREAS, the City of Goldsboro, North Carolina desires to finance the construction of the W. A. Foster Recreation Center and the purchase and renovations to the property at 1501 South Slocumb Street; and

WHEREAS, the City of Goldsboro desires to finance this project by the use of an installment contract authorized under North Carolina General Statute 160A, Article 3, Section 20; and

WHEREAS, findings of fact by this governing body must be presented to enable the North Carolina Local Government Commission to make its findings of fact set forth in North Carolina General Statute 159, Article 8, Section 151 prior to approval of the proposed contract.

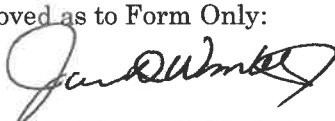
NOW, THEREFORE, BE IT RESOLVED that the City Council of Goldsboro, North Carolina, meeting in regular session on the 4th day of May, 2015, make the following findings of fact:

1. The proposed contract is necessary in order to construct the W.A. Foster Recreation Center and purchase and renovations to the property located at 1501 South Slocumb Street for the City residents in an effort to better serve the citizens of the City of Goldsboro.
2. The proposed contract is preferable to a bond issue for the same purpose because the cost to issue general obligation bonds would be greater.
3. The sums to fall due under the contract are adequate and not excessive for the proposed construction based on the design-build estimates provided by the contractor, T.A. Loving Company, for the W. A. Foster Recreation Center Project. The purchase and renovations for 1501 South Slocumb Street are based on an independent appraisal and renovations estimates for this property.
4. The City of Goldsboro's debt management procedures and policies are good because of the City's strict compliance with the law and its continued debt management as directed by the Local Government Commission.
5. There will be no increase in taxes necessary to meet the sums to fall due under the proposed contract.
6. The City of Goldsboro is not in default in any of its debt service obligations.
7. The attorney for the City of Goldsboro has rendered an opinion that the proposed project is authorized by law and is a purpose for which public funds may be expended pursuant to the Constitution and laws of North Carolina.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Director of Finance is hereby authorized to act on behalf of the City of Goldsboro in filing an application with the North Carolina Local Government Commission for approval of the Project and other actions not inconsistent with this Resolution.

This Resolution is effective upon its adoption this 4th day of May, 2015.

Approved as to Form Only:



City Attorney

Reviewed by:



City Manager



City of Goldsboro

P.O. Drawer A
North Carolina
27533-9701

Office of the Mayor

PROCLAMATION COATS AND TIES OFF

WHEREAS, the southeastern region of the United States and especially our Sunbelt States experience hot, humid temperatures in the summer months of May through September; and

WHEREAS, soaring temperatures will soon reach the Carolinas, and more specifically the Goldsboro area; and

WHEREAS, during this time, all citizens are encouraged to be good stewards of our energy sources; and

WHEREAS, while trying to keep their cool by wearing lightweight suits and ties, all men continue to swelter in the hot, humid weather; and

WHEREAS, it has become the tradition that we exchange our coats and ties for common sense and no longer deny ourselves some small degree of comfort and dignity.

NOW, THEREFORE, I, Alfonzo King, Mayor of the City of Goldsboro, North Carolina, by virtue of the powers vested in this office, do hereby proclaim reason above custom and urge all Goldsboro citizens to doff their coats and ties for the duration of the summer effective May 1, 2015 until September 30, 2015.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City of Goldsboro, North Carolina, to be affixed on this 4th day of May, 2015.




Alfonzo King, Mayor



City of Goldsboro

P.O. Drawer A
North Carolina
27533-9701

Office of the Mayor

PROCLAMATION MUNICIPAL CLERKS WEEK

WHEREAS, The Office of the Municipal Clerk, a time honored and vital part of local government exists throughout the world, and

WHEREAS, The Office of the Municipal Clerk is the oldest among public servants, and

WHEREAS, The Office of the Municipal Clerk provides the professional link between the citizens, the local governing bodies and agencies of government at other levels, and

WHEREAS, Municipal Clerks have pledged to be ever mindful of their neutrality and impartiality, rendering equal service to all, and

WHEREAS, The Municipal Clerk serves as the information center on functions of local government and community, and

WHEREAS, Municipal Clerks continually strive to improve the administration of the affairs of the Office of the Municipal Clerk through participation in education programs, seminars, workshops and the annual meetings of their state, province, county and international professional organizations, and

WHEREAS, it is most appropriate that we recognize the accomplishments of the Office of the Municipal Clerk.

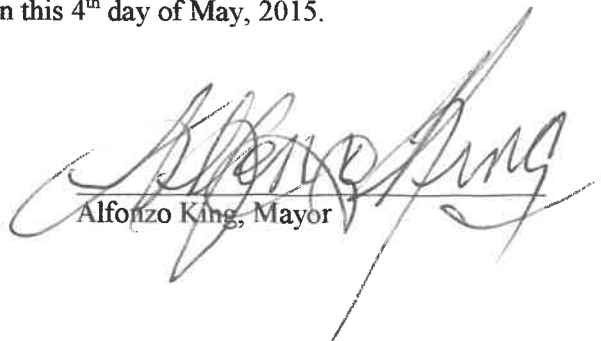
NOW, THEREFORE, I, Alfonzo King, Mayor of the City of Goldsboro, North Carolina, do recognize the week of May 3-9, 2015, as

MUNICIPAL CLERKS WEEK

and further extend appreciation to our City Clerk Melissa Corser, our Deputy City Clerk Laura Getz and all Municipal Clerks for the vital services they perform and their exemplary dedication to the communities they represent.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City of Goldsboro, North Carolina, to be affixed on this 4th day of May, 2015.




Alfonzo King, Mayor



City of Goldsboro

P.O. Drawer A
North Carolina
27533-9701

Office of the Mayor

PROCLAMATION

PEACE OFFICERS' MEMORIAL DAY

WHEREAS, the Congress and President of the United States have designated May 15 as Peace Officers' Memorial Day and the week in which May 15 falls as National Police Week ; and

WHEREAS, the members of the law enforcement agency of the City of Goldsboro play an essential role in safeguarding the rights and freedoms of the citizens of Goldsboro; and

WHEREAS, it is important that all citizens know and understand the duties, responsibilities, hazards, and sacrifices of their law enforcement agency; and

WHEREAS, members of the Goldsboro Police Department recognize their duty to serve the people by safeguarding life and property, by protecting them against violence and disorder, and by protecting the innocent against deception and the weak against oppression; and

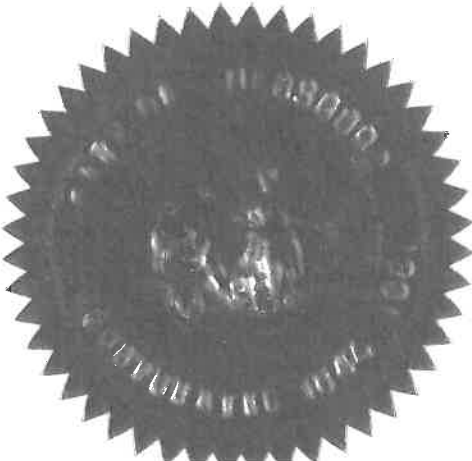
WHEREAS, the men and women of the law enforcement agency of the City of Goldsboro unceasingly provide a vital public service.

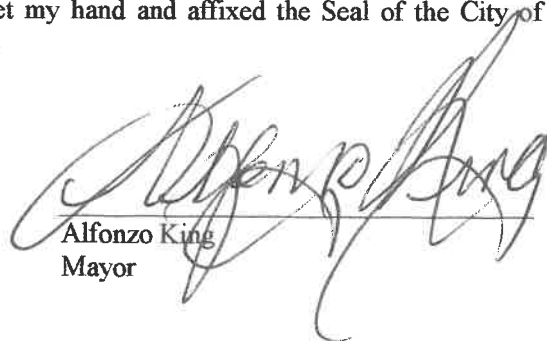
NOW, THEREFORE, I, Alfonzo King, Mayor of the City of Goldsboro, North Carolina, call upon the citizens of the City of Goldsboro and upon all patriotic, civic and educational organizations to observe the week of May 10 through 16, 2015 as Police Week with appropriate ceremonies and observances in which everyone may join in commemorating law enforcement officers, past and present, who by their faithful and loyal devotion to their responsibilities, have rendered a dedicated service to their community and, in so doing, have established for themselves an enviable and enduring reputation for preserving the rights and security of all citizens. I further call upon all citizens to observe May 15, 2015 as

PEACE OFFICERS' MEMORIAL DAY

in honor of those law enforcement officers who, through their courageous deeds, have made the ultimate sacrifice in service to their community or have become disabled in the performance of duty, and let us recognize and pay respect to the survivors of our fallen heroes.

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Seal of the City of Goldsboro, North Carolina, this 4th day of May, 2015.




Alfonzo King
Mayor



City of Goldsboro

H.O. Brawer A
North Carolina
27533-9701

Office of the Mayor

PROCLAMATION COATS AND TIES OFF

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WHEREAS, soaring temperatures will soon reach the Carolinas, and more specifically the Goldsboro area; and

WHEREAS, during this time, all citizens are encouraged to be good stewards of our energy sources; and

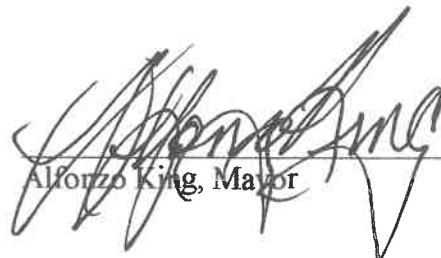
WHEREAS, while trying to keep their cool by wearing lightweight suits and ties, all men continue to swelter in the hot, humid weather; and

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Alfonzo King, Mayor



City of Goldsboro

P.O. Drawer A
North Carolina
27533-9701

Office of the Mayor

PROCLAMATION MUNICIPAL CLERKS WEEK

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WHEREAS, Municipal Clerks continually strive to improve the administration of the affairs of the Office of the Municipal Clerk through participation in education programs, seminars, workshops and the annual meetings of their state, province, county and international professional organizations, and

WHEREAS, it is most appropriate that we recognize the accomplishments of the Office of the Municipal Clerk.

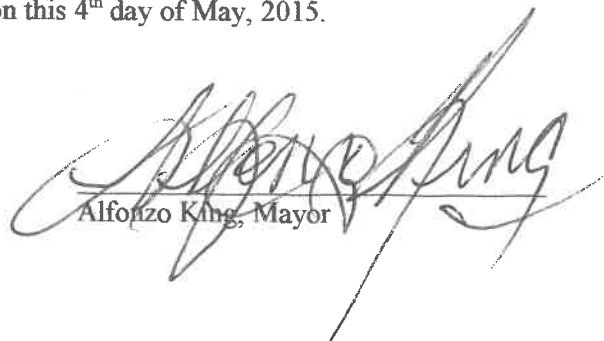
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MUNICIPAL CLERKS WEEK

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IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City of Goldsboro, North Carolina, to be affixed on this 4th day of May, 2015.




Alfonzo King, Mayor

Broadcast Report

P 1
04/30/2015 16:32
Serial No. A4FM011009412
TC: 87634

Addressee	Start Time	Time	Prints	Result	Note
wral	04-30 16:18	00:00:24	001/001	OK	
news argus	04-30 16:19	00:00:41	001/001	OK	
WGBR	04-30 16:20	00:00:25	001/001	OK	
TimeWarner	04-30 16:21	00:00:25	001/001	OK	
WTV Durham	04-30 16:22	00:00:50	001/001	OK	
Chamber	04-30 16:23	00:00:24	001/001	OK	
EDC	04-30 16:24	00:00:40	001/001	OK	
Sheriff Dept	04-30 16:25	00:00:26	001/001	OK	
Wachovia	04-30 16:29	00:00:46	001/001	OK	
Channel 14	04-30 16:31	00:00:52	001/001	OK	

Note TMR:Timer TX, POL:Polling, ORG:Original Size Setting, FME:Frame Erase TX,
DPG:Page Separation TX, MIX:Mixed Original TX, CALL:Manual TX, CSRC:CSRC,
FWD:Forward, PC:PC-FAX, BND:Double-Sided Binding Direction, SP:Special Original,
FCODE:IF-Code, RTX:Re-TX, RLV:Relay, MBX:Confidential, BUL:Bulletin, SIP:SIP Fax,
IPADR:IP Address Fax, I-FAX:Internet Fax

Result OK: Communication OK, S-OK: Stop Communication, PW-OFF: Power Switch OFF,
TEL: RX from TEL, NG: Other Error, Cont: Continue, No Ans: No Answer,
Refuse: Receipt Refused, Busy: Busy, M-Full:Memory Full, LOVR:Receiving length over,
PWR:Receiving page over, FIL:File Error, DC:Decode Error, MDN:MDN Response Error,
DSN:DSN Response Error, PRINT:Compulsory Memory Document Print,
DEL:Compulsory Memory Document Delete, SEND:Compulsory Memory Document Send.

AGENDA
REGULAR MEETING OF THE MAYOR AND CITY COUNCIL
CITY OF GOLDSBORO
COUNCIL CHAMBERS – CITY HALL – 214 N. CENTER STREET
MAY 4, 2015

(Please turn off, or mute, all cell phones and pagers upon entering the Council Chambers)

- I. **WORK SESSION-5:00 P.M. – COUNCIL CHAMBERS, 214 N. CENTER ST.**
 - a. Vehicle Replacement Discussion (Parks and Recreation)
- II. **CALL TO ORDER – 6:00 P.M. – COUNCIL CHAMBERS, 214 N. CENTER ST.**
Invocation & Pledge to the Flag
- III. **ROLL CALL**
- IV. **PUBLIC COMMENT PERIOD (TIME LIMIT OF 3 MINUTES PER SPEAKER)**
- V. **PRESENTATIONS**
 - A. Small Business Week Proclamation
 - B. Mental Health Month Proclamation
- VI. **PUBLIC HEARINGS**
 - C. 2015-2020 Five-Year Consolidated Plan and 2015-2016 Annual Action Plan Public Hearing (Community Development)
- VII. **CONSENT AGENDA ITEMS**
 - D. Z-3-15 Stevenson Automotive Group – South side of West Tommy's Road between North William Street and Patetown Road (R-16 Residential to Office and Institutional-1 and Highway Business Conditional District for Auto Dealership) (Planning)
 - E. CU-1-15 William M. Sieprawski – East side of US 117 South between Arrington Bridge Road and the Neuse River (Used Car Lot) (Planning)
 - F. CU-2-15 Dee Ismail – South side of US Highway 70 West between Hargrove Street and the Little River (Planning)
 - G. CU-3-15 Harry Lin – North side of Spence Avenue between East Ash Street and Cashwell Drive (Planning)
 - H. Site and Landscape Plan – Dollar General (Planning)
 - I. Site and Landscape Plan – Wayne Assisted Living Facility (Planning)
 - J. Site Plan Modification – Laura Melvin (Florist Shop) (Planning)
 - K. Site and Landscape Plan – Worrell Contracting Co., Inc. (Planning)
 - L. Site Plan – Rose Brothers Furniture Company (Planning)
 - M. Surplus Auction Sale – Goldsboro Country Club (Finance)
 - N. Approval of Employee Health, Dental and Life Insurance Rates for FY 2015-16 (Finance)
- VIII. **ITEMS REQUIRING INDIVIDUAL ACTION**
- IX. **CITY MANAGER'S REPORT**
- X. **CITY ATTORNEY'S REPORT AND RECOMMENDATIONS**
- XI. **MAYOR AND COUNCILMEMBERS' REPORTS AND RECOMMENDATIONS**
 - O. Peace Officers Memorial Day Proclamation
 - P. Coats and Ties Proclamation
 - Q. Municipal Clerks Week Proclamation
- XII. **CLOSED SESSION**
- XIII. **ADJOURN**



City of Goldsboro

P.O. Drawer A
North Carolina
27533-9701

Office of the Mayor

PROCLAMATION

PEACE OFFICERS' MEMORIAL DAY

WHEREAS, the Congress and President of the United States have designated May 15 as Peace Officers' Memorial Day and the week in which May 15 falls as National Police Week ; and

WHEREAS, the members of the law enforcement agency of the City of Goldsboro play an essential role in safeguarding the rights and freedoms of the citizens of Goldsboro; and

WHEREAS, it is important that all citizens know and understand the duties, responsibilities, hazards, and sacrifices of their law enforcement agency; and

WHEREAS, members of the Goldsboro Police Department recognize their duty to serve the people by safeguarding life and property, by protecting them against violence and disorder, and by protecting the innocent against deception and the weak against oppression; and

WHEREAS, the men and women of the law enforcement agency of the City of Goldsboro unceasingly provide a vital public service.

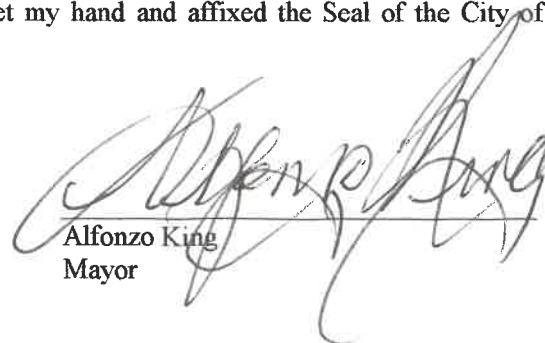
NOW, THEREFORE, I, Alfonzo King, Mayor of the City of Goldsboro, North Carolina, call upon the citizens of the City of Goldsboro and upon all patriotic, civic and educational organizations to observe the week of May 10 through 16, 2015 as Police Week with appropriate ceremonies and observances in which everyone may join in commemorating law enforcement officers, past and present, who by their faithful and loyal devotion to their responsibilities, have rendered a dedicated service to their community and, in so doing, have established for themselves an enviable and enduring reputation for preserving the rights and security of all citizens. I further call upon all citizens to observe May 15, 2015 as

PEACE OFFICERS' MEMORIAL DAY

in honor of those law enforcement officers who, through their courageous deeds, have made the ultimate sacrifice in service to their community or have become disabled in the performance of duty, and let us recognize and pay respect to the survivors of our fallen heroes.

IN WITNESS THEREOF, I have hereunto set my hand and affixed the Seal of the City of Goldsboro, North Carolina, this 4th day of May, 2015.




Alfonzo King
Mayor