

REVISED AGENDA
REGULAR MEETING OF THE MAYOR AND CITY COUNCIL
CITY OF GOLDSBORO
COUNCIL CHAMBERS – CITY HALL – 214 N. CENTER STREET
MARCH 10, 2014 (Rescheduled from March 3, 2014)

(Please turn off, or mute, all cell phones and pagers upon entering the Council Chambers)

- I. WORK SESSION–5:00 P.M.–CITY HALL ADDITION, 200 N. CENTER ST., ROOM 206**
 - a. Signature Community Festival (Parks and Recreation)
 - b. Youth Summer Work Program (Parks and Recreation/City Manager’s Office)
 - c. F-86 Placement (City Manager’s Office)
 - d. Streetscape Update (City Manager’s Office)
 - e. Downtown Merchants Association Update (DGDC)
- II. CALL TO ORDER – 7:00 P.M. – COUNCIL CHAMBERS, 214 N. CENTER ST.**

Invocation & Pledge to the Flag
- III. ROLL CALL**
- IV. MINUTES**
 - A. Minutes of the Work Session and Regular Meeting of January 21, 2014
- V. PUBLIC COMMENT PERIOD (TIME LIMIT OF 3 MINUTES PER SPEAKER)**
- VI. PRESENTATIONS**
 - Resolution Expressing Appreciation For Services Rendered By Thomas L. Williams As An Employee Of The City Of Goldsboro For More Than 14 Years
 - Goldsboro Fire Explorer Post (Captain Whitney and Explorers)
 - The Geeker Report (Eric Vaughn)
- VII. CONSENT AGENDA ITEMS**
 - B. CU-1-14 Eddie Uzzell –West side of N. Spence Avenue between Royall Avenue and US 70 East (Internet Café) (Planning)
 - C. CU-2-14 Rebecca Paschket –South side of East Ash Street between Leslie and Lionel Streets (Planning)
 - D. Z-2-14 The First Pentecostal Holiness Church – North side of Cella Street and Newton Drive between The First Church Road and North Drive (R-9 to O&I-1 Conditional District) (Planning)
 - E. Setting Public Hearing-Non-Contiguous Annexation Request – Eugene Raynor Property (5.857 Acres) (Planning)
 - F. Site and Landscape Plans – Wal-Mart Neighborhood Market (Planning)
 - G. Site and Landscape Plan Revision- Rouse Brothers, Inc. (Relocation of Wesleyan College) (Planning)
 - H. Site, Landscape and Building Elevation Plans – State Employees’ Credit Union (Planning)
 - I. Site, Landscape and Building Elevation Plans – Dick’s Sporting Goods and PetSmart (Planning)
 - J. Site, Landscape and Building Elevation Plans – Lochstone (Planning)
 - K. Piedmont Natural Gas- Relocation of Natural Gas Line for Berkeley Boulevard Widening Project (Engineering)
- VIII. ITEMS REQUIRING INDIVIDUAL ACTION**
 - L. Mina Weil Master Plan (Parks and Recreation)
 - M. Herman Park Master Plan (Parks and Recreation)
- IX. CITY MANAGER’S REPORT**
- X. CITY ATTORNEY’S REPORT AND RECOMMENDATIONS**
- XI. MAYOR AND COUNCILMEMBERS’ REPORTS AND RECOMMENDATIONS**
 - N. Rosewood High School’s JROTC Unit- 31st Annual Military Ball Proclamation
 - O. 2014 Women in Construction Week Proclamation
- XII. CLOSED SESSION**
- XIII. ADJOURN**

MINUTES OF MEETING OF MAYOR AND CITY COUNCIL HELD
JANUARY 21, 2014

WORK SESSION

The Mayor and Council of the City of Goldsboro, North Carolina, met in a Work Session in the Large Conference Room, City Hall Addition, 200 North Center Street, at 5:00 p.m. on January 21, 2014 with attendance as follows:

Present: Mayor Alfonzo King, Presiding
Mayor Pro Tem Bill Broadway
Councilmember Michael Headen
Councilmember Chuck Allen
Councilmember William Goodman
Councilmember Charles J. Williams, Sr.
Councilmember Gene Aycock
Jim Womble, Attorney
Scott Stevens, City Manager
Melissa Corser, City Clerk
Kim Best, Public Information Officer
Angel Wright-Lanier, Assistant City Manager
Randy Guthrie, Assistant City Manager
Jimmy Rowe, Planning Director
Kaye Scott, Finance Director
Jeff Stewart, Police Chief
Scott Williams, IT Director
Scott Barnard, Parks & Recreation Director
Felicia Brown, Parks & Recreation
Betsy Rosemann, Travel & Tourism Director
Julie Metz, DGDC Director
Chief Jeff Stewart, Police Department
Jose Martinez, Public Works Director
Sherry Archibald, Paramount Theatre Director
Faye Reeves, HR Director
Chief Gary Whaley, Fire Department
LaTerrie Ward, Community Affairs Director
Marty Anderson, City Engineer
Glenn Barwick, Citizen
Lonnie Casey, Citizen
Matt Caulder, Goldsboro News-Argus

Call to Order. The meeting was called to order by Mayor King at 5:00 p.m.

Invocation. Councilmember Williams provided the invocation.

Closed Session Held. Upon motion of Councilmember Allen, seconded by Councilmember Williams and unanimously carried Council convened into Closed Session to discuss a personnel matter.

Council came out of Closed Session.

Upon motion of Councilmember Allen, seconded by Councilmember Headen and unanimously carried, Council approved a 2 % raise for Mr. Stevens, City Manager, a \$300 merit bonus and change letter of understanding from “The City will match your contribution up to 5% of your salary in a 401 (k) through ICMA or other deferred compensation plan selected by you” to reflect “The City will contribute 5% of your salary to a 401 (k) through the ICMA or other deferred compensation plan selected by you.”

Mayor King stated he would like to officially and formally thank Mr. Stevens for all he does. Mayor King stated Mr. Stevens does his job with dignity and restraint and he appreciated all Mr. Stevens does for the City.

Mr. Stevens stated it is an honor to serve as your City Manager. He stated he enjoys the job or he wouldn't stay because life is too short. Mr. Stevens stated working with the employees we have and Council makes it really easy to like the job. Between Council and the employees working to serve this community, it is really good. Mr. Stevens thanked the Mayor and Council.

School Resource Officer. Chief Stewart stated Chris Barnes, Security Coordinator at Wayne County Public Schools was unable to attend the meeting. Chief Stewart shared the following information:

- With the increased threats facing schools today, the North Carolina Department of Public Instruction has put out a grant to help local districts add School Resource Officers in Elementary and Middle Schools.
- Wayne County Public Schools has School Resource Officers in all of our high schools and one in the alternative school.
- The D.P.I. grant will provide WCPS with 4 additional officers. Three from the Sheriff's Office and one from the Goldsboro Police Department. These officers will rotate between all the elementary and middle schools in the county. Twenty-one schools in all.
- D.P.I. will be funding two-thirds of the cost for these officers. WCPS will fund the additional third. This works out to be \$163,587 from D.P.I. and \$81,793 from WCPS.
- Because, we will only be using these new officers for 5 months of this current school year, the initial grant will only cover that time period. So, D.P.I. will fund \$70,253.67 and WCPS will fund \$35,126.34 for the officers.
- Although there is no guarantee, D.P.I. is expecting this grant to continue for at least two years. Starting in July D.P.I. will fund \$163,587 and WCPS will fund \$81,793 for these new officers.

Councilmember Allen asked if the Resource Officer would be located within a school in the city limits and Chief Stewart replied yes.

Community Transformation Grant. Ms. Wright-Lanier introduced Shorlette Ammons with CEFS (Center for Environmental Farming Systems). Ms. Ammons shared information about an available Community Transformation grant that would potentially bring a farmers market downtown. Ms. Wright-Lanier shared the City would receive the grant and there are no matching funds required. Ms. Metz shared the history of the former farmer's market located downtown. Ms. Metz stated this would not replace the Farmer's Market on Wednesdays at Herman Park this would provide for an additional day, maybe a Saturday in downtown.

Councilmember Allen asked how much the grant they were applying for was and Ms. Metz stated \$146,000. Councilmember Allen asked who would supervise or maintain the market and Ms. Metz stated Parks and Recreation. Ms. Metz stated at this time they have not identified a specific design but wanted to share the information regarding the grant with Council.

PARTF Grant. Ms. Felicia Brown stated the Parks and Recreation staff would like consent to move forward with applying for a PARTF Grant for Mina Weil Park. She stated as Council is aware they are looking at building the new WA Foster Center at this location but this grant is specific to the park itself. Ms. Brown stated with the completion of the Master Plans of each park there are some items that need to be shifted around. She stated with the PARTF grant they would be looking at shifting the playground, looking at shelters, grading and the parking area at the park.

Councilmember Allen asked how much the grant was and Ms. Brown replied \$333,000 and there would be a dollar for dollar match, however, what staff is looking to match the grant with is the WA Foster Center. Councilmember Allen asked why not use PARTF for greenways. Mr. Barnard stated going back when Pete Armstrong and Steve Molar facilitated our master plan, they worked with us and as this developed; the number one priority community wide was the reconstruction of the WA Foster Center.

Cover Agenda. Each item on the cover agenda was generally discussed. Items with additional comments included the following:

Upon motion of Mayor Pro Tem Broadaway, seconded by Councilmember Allen and unanimously carried, Council excused Councilmember Headen from Item A. Alley Closing – Hogan’s Alley running from West Spruce Street to West Chestnut Street between South Carolina Street and South Virginia Street.

Councilmember Headen left the room at 5:33 p.m.

Mr. Rowe reviewed Item A. Alley Closing with Council.

Councilmember Headen returned at 5:35 p.m.

Item F. TIGER V Funded Union State/Gateway Projects – Architectural Services.

Councilmember Headen asked what was next and Ms. Metz replied the only other potential cost is related to soils but hope to incorporate that into the existing budget. She stated the next thing staff will come back with is construction; the City will be responsible for their 10 percent. Councilmember Allen asked about timeframes. Ms. Metz stated she and Mr. Guthrie are working with FTA and they hope to have Center Street Streetscape bid in March with construction beginning in April and with the transfer center, bid in May with construction beginning in June. Mr. Stevens stated he would like to thank Mr. Guthrie and Ms. Metz for their efforts in working with the FTA to make sure we are doing it right and getting documentation prepared so that once we have spent the money we can be reimbursed.

Additional items discussed included the following:

Friends of Seymour Johnson Air Force Base. Mr. Stevens shared he, Mayor Pro Tem Broadaway and Councilmember Allen have been meeting with several County Commissioners and members of the Military Affairs Committee (MAC) over the past 7 or 8 months discussing funding needs and lobbyists and the need for those. The Friends of Seymour Johnson Air Force Base is a 501(c) (6) tax exempt entity through the Military Affairs Committee. The idea is to hire a lobbyist in DC and we have interviewed a number and the number we have incorporated into this effort is \$12,500 per month which would be split between us and the County. Mr. Stevens shared a copy of a draft agreement between the City of Goldsboro, the County of Wayne and the Friends of Seymour Johnson Air Force Base. Based on this agreement the City and County would agree to each provide equal financial support to Friends of Seymour Johnson Air Force Base as follows:

- Consulting contracts will be executed calling for total payments up to \$18,500 per month (\$9,250 each) * this includes funding for a McGuire & Woods.
- One-half of the compensation to a paid local representative as an independent contractor who will provide operational directions and administrative guidance with at least 10 hours a week at a rate of \$2,084 per month (\$1,042).
- \$625.00 each per month for administrative assistance
- Provide financial support for events in an projected monthly amount of \$1,000 each

Mr. Stevens shared staff has been researching what other military communities do and some have retired military officers on staff and is something we may discuss during budget time. Mr. Stevens shared there is a 90 day notice clause to terminate the agreement. The Council will also name a governing board member to serve as an ex-officio representative of Friends of Seymour Johnson Air Force Base.

Several members of Council stressed the importance of protecting Seymour Johnson Air Force Base.

Upon motion of Councilmember Allen, seconded by Councilmember Aycock and unanimously carried, Council authorized the City Manager to sign an agreement with the Friends of Seymour.

Retreat Dates and Topics. Councilmember Headen asked what the retreat dates were and Mr. Stevens replied February 19th and 20th. The Retreat will be held at the Public Works Complex from approximately 8:00 a.m. to 4:30 p.m. each day. Mr. Stevens asked Council to share any topics they would like to discuss at the Retreat with Ms. Corser.

Councilmember Williams complimented Ms. LaTerrie Ward and the Community Affairs staff on a magnificent job on the Martin Luther King, Jr. Breakfast celebration. Mayor King stated it was a good event. There being no further business, the work session adjourned at 6:12 p.m.

CITY COUNCIL MEETING

The Mayor and Council of the City of Goldsboro, North Carolina, met in regular session in Council Chambers, City Hall, 214 North Center Street, at 7:00 p.m. on January 21, 2014 with attendance as follows:

Present: Mayor Alfonzo King, Presiding
Mayor Pro Tem Bill Broadway
Councilmember Michael Headen
Councilmember William Goodman
Councilmember Charles J. Williams, Sr.
Councilmember Chuck Allen
Councilmember Gene Aycok

The meeting was called to order by Mayor King.

The invocation was given by Councilmember Williams. The pledge to the Flag followed.

Public Comment Period. Mayor King opened the public comment period. No one spoke and the public comment period was closed.

Audit – Fiscal Year 2012-2013. Ms. Kaye Scott introduced Michelle Keifer, with Carr, Riggs and Ingram CPAs. Ms. Keifer shared the following information:

- The City of Goldsboro received a Certificate of Achievement for Excellence in Financial Reporting for its Comprehensive Annual Financial Report for the Fiscal Year Ended June 30, 2012.
- Page 2 – In our opinion, based on our audit, the financial statements are presented fairly, in all material respects, the financial position of the government of the City of Goldsboro as of June 30, 2013. This is an unqualified opinion and they have found no issues with your financial statements.
- Page 22 – The unassigned fund balance did drop \$1.4 million, the majority of it is due to two large health claims.
- Page 26 – Statement of Fund Net Position of Proprietary Fund (Water & Sewer) increased by \$600,000 due to your department managers really managing their spending and keeping within their budgets.
- Page 51 – The City's overall debt decreased this year. The City paid down over \$3.4 million on government activities and decreased almost \$6 million on business activities.
- On your single audit, there were no findings. The Local Government Commission has approved the City's audit.

Ms. Keifer stated she always enjoys coming to the City and preparing the audit. She thanked Ms. Kaye Scott and her department for their assistance.

Mayor King thanked Ms. Keifer and Ms. Scott and her department for their hard work.

Upon motion of Councilmember Broadway, seconded by Councilmember Goodman and unanimously carried, Council excused Councilmember Headen from Item A. Alley Closing – Hogan's Alley due to a conflict of interest.

Councilmember Headen exited Council Chambers at 7:08 p.m.

Alley Closing – Hogan's Alley running from West Spruce Street to West Chestnut Street between South Carolina Street and South Virginia Street. Public Hearing Held. The alley petitioned for closing runs for a distance of approximately 433 ft. and has a right-of-way width of 20 ft. It is not open or improved.

Due to the fact that this alley does not serve as a principal means of access for any of the adjacent properties, staff has initiated its closing.

If closed, ownership of half the alley width would be transferred to the adjacent owners.

The petitioned alley closing has been forwarded to the Fire, Police, Engineering and Public Works Departments for their review. No concerns have been received; however, the Engineering Department has requested that an easement be retained over the entire right-of-way, if closed, in order to allow for maintenance of a six-inch sanitary sewer line which runs within the alley.

At their meeting of December 2, 2013, the City Council adopted a Resolution of Intent to schedule a public hearing on this matter. The Resolution was advertised in the newspaper for four consecutive weeks, the alley was posted on both ends and all adjacent property owners were notified of the hearing by certified mail.

Mayor King opened the public hearing. No one spoke and the public hearing was closed. No action necessary. The Planning Commission will have a recommendation for the Council's meeting on February 3, 2014.

Councilmember Headen returned at 7:11 p.m.

Z-1-14 Robert C. Jackson – Southeast corner of Patetown Road and Tommy's Road (R-20A Residential to Office and Institutional-1 Conditional District). Public Hearing Held. The property is located on the southeast corner of Patetown Road and Tommy's Road. The Wayne County Tax Identification No. is 3610-19-2859. The property has a frontage of 820 ft. on Patetown Road, a frontage of 2,325 ft. on Tommy's Road and a total area of approximately 53.1 acres. The present zoning classification is R-20A Residential. The proposed zoning classification is Office and Institutional-1 Conditional District to allow the phased development of a public charter school campus. Site and landscape plans would have to be approved by the City Council.

The requested O&I-1 Conditional District zone would limit the use of the property to the phased development of a public charter school campus.

The property is currently vacant and was most recently utilized for residential and farmland.

The requested O&I-1 Conditional District zone would limit the use of the property to the phased development of a public charter school campus.

The City's updated Land Use Plan recommends Medium Density Residential development for this property.

Neither City water nor sanitary sewer is available to serve the subject property. Water and sewer lines extend to a point approximately 700 ft. south of the property along Patetown Road.

The Conditional District zone requires that all development plans be approved by the Planning Commission and City Council. The applicant has submitted a conceptual plan which indicates a 4-phase school development.

Phase 1 of the development would consist of modular units to serve as temporary elementary classrooms and administrative offices. In addition a modular unit for Pre-K classrooms is permanently proposed. Occupancy is proposed in July of 2014.

Phase 2 proposes the construction of permanent elementary classroom buildings and a student union with occupancy proposed in July, 2015.

Phase 3 proposes construction of a permanent building and related site improvements for the middle school for proposed occupancy in July, 2016.

Phase 4 proposes possible future construction of a permanent building and related site improvements for high school students with proposed occupancy in 2017 or later. It is noted that the Phase 4 construction is not currently covered by the charter for the overall school project.

Along with new construction, other improvements, including parking lots, play area, football and track field, baseball field, tennis courts and a soccer field are shown on the plans with no specific schedule for construction. Locations for these amenities along with stormwater ponds may change.

Prior to any construction taking place on the site, detailed development plans will be required to be approved by the Planning Commission and City Council. At that time, more specific information will be available for review including driveway access, buffers and parking layout.

Mayor King opened the public hearing and the following people spoke:

1. Bob Jackson, 109 Aurora Lane, stated they really appreciated Council allowing this opportunity to tell you a little about the charter school. He shared they have been working on this project for several years now and just in the last two weeks they have received an approval from the State Board of Education that they do have a charter. The school is Wayne Preparatory Academy and the mission is to create a legacy of leadership and learning that embraces, enriches and engages children's strengths one child at a time. It seems we spend way too much time on a student's shortcomings rather than working on their strengths. It will be our goal to enhance the student's strengths that they might enter a working group and our citizenry prepared to do both. He asked the board members to stand. Mr. Jackson introduced Dr. Ken Benton, Chairman who will speak in a moment. He stated they also have the landowners here tonight, the Batten and Pate family. He stated they appreciate their support. The property is located at the corner of Patetown Road and Tommy's Road, about 53 acres they plan to use.
2. Dr. Ken Benton, 706 N. Berkeley Boulevard, stated they are looking forward to putting a school at this landsite. They have been working on it for now over a year. He stated January 9, 2014 they were granted our charter. This will give our parents an alternative for educating their children. Dr. Benton stated he has been in business in Goldsboro for over 25 years in Goldsboro running a company called Academics Plus. They have over 40 years in education. He stated they came back to their hometown in 1990 to open Academics Plus. Now they have had the opportunity to take this one step forward, to create a school, to be chairman of the Board and bring the excellence of education that we have brought for 25 years to the children of private, private-public school, charter school called Wayne Preparatory School.
3. Tony Whitaker, Civil Consultants, 3708 Lyckan Parkway, Durham, stated they are the engineering and planning consultant for the school. He stated he would like to first off commend staff for being easy to work with and understanding of utilities needs for the property. He stated the property is in what he calls a transitional area meaning it is transitioning over a period of time from a rural character to a suburban character. They believe the rezoning request is consistent with that kind of transition. They also believe it is a very good school site; it has lots of road frontage, with lots of opportunity for safe egress and ingress. He pointed out a couple of driveway locations one on Tommy's Road and another on Patetown Road. Mr. Whitaker stated they believe those are safe locations and have been coordinated with DOT in preliminary conversations. Access wise with a few roadway improvements, they do believe they will have safe circulation in and out of the site. There is an existing traffic signal at the intersection and will give them something to work with if we need to retime the signal to make more efficient. He stated they have good access to county water on Tommy's Road. Mr. Whitaker reviewed the conceptual site plan.

Councilmember Williams asked what the student enrollment criteria would be and Dr. Benton replied parents will be able to submit applications and it will be a lottery drawing. Dr. Benton stated there is no tuition fee, funding is provided by the state.

4. LJ Stanley, 405 S. Best Street, stated he did not know what a charter school was two years ago. He stated he loves Goldsboro and Wayne County and has tried to help it

grow. He stated the school will provide a great academic program and will teach leadership and respect. He stated they are here to help the kids grow.

5. John Ankeney, 126 Meadow Lark Road, stated he volunteers for the board. The building will be built so that it can be expanded in the future. He stated the school will have one on one education and teach kids leadership and respect. The school will have a principal, have a board, and parent guidelines. The school will be responsible to the state education authority. He stated they are covering all aspects. Mr. Ankeney stated the board is very enthusiastic.
6. Sharon Thompson, 504 Hickory Road, shared she has 3 kids, 2 on the autism spectrum. She stated we have great public and private schools here in Wayne County but is excited to see a different option available to parents.

No one else spoke and the public hearing closed. No action necessary. The Planning Commission will have a recommendation for the Council's meeting on February 3, 2014.

Planning Commission Excused.

Consent Agenda - Approved as Recommended. City Manager, Scott A. Stevens, presented the Consent Agenda. All items were considered to be routine and could be enacted simultaneously with one motion and a roll call vote. If a Councilmember so requested, any item(s) could be removed from the Consent Agenda and discussed and considered separately. In that event, the remaining item(s) on the Consent Agenda would be acted on with one motion and roll call vote. Councilmember Allen moved the items on the Consent Agenda, Items C, D, E, F, G, H and I be approved as recommended by the City Manager and staff. The motion was seconded by Councilmember Headen, and a roll call vote resulted in all members voting in the affirmative. Mayor King declared the Consent Agenda approved as recommended. The items on the Consent Agenda were as follows:

Berkeley Boulevard Utility Improvements – Change Order No. 1 Informal Bid Request No. 2013-010. Resolution Adopted. On November 18, 2013, the City Council awarded a contract to R. D. Braswell Construction Company in the amount of \$104,250.00 for Berkeley Boulevard Utility Improvements. This utility relocation work is required as part of the Berkeley Boulevard widening project and consists of relocation of two 6-inch water lines, one 10-inch water line, and one 16-inch water line.

Due to the need to isolate various water line branches and to prevent having a large number of residents and a special-care facility inconvenienced during the construction process, staff requested R. D. Braswell Construction to provide costs for the additional work detailed below:

<u>Item</u>	<u>Lump Sum</u>
Hill Drive Circle (6-inch water line) Work includes excavation, cutting off a section of casing, installing the cut-in valve, placing a valve box with protector ring, backfilling, and seeding.	7,955.00
Burtus Drive (10-inch water line) Work includes cutting asphalt, remove curb section, excavation, installing the cut-in valve, placing valve box and protector ring, backfilling, replacing curb, replacing asphalt, and seeding.	12,387.00
Lisa Lane (6-inch water line) Work includes excavation, cutting off a section of casing, installing the cut-in valve, placing a valve box with protector ring, backfilling, and seeding.	7,955.00
TOTAL CHANGE ORDER REQUESTS	\$28,297.00

We propose to issue a change order to R. D. Braswell Construction Company's current contract for Berkeley Boulevard Utility Improvements. We have reviewed this change order with the Finance Director and determined that sufficient monies are available in the utility fund.

Staff recommended the City Council adopt the following entitled resolution authorizing the City Manager to execute a change order totaling \$28,297.00 with R. D. Braswell Construction Company for Berkeley Boulevard Utility Improvements. Consent Agenda Approval. Allen/Headen (7 Ayes)

RESOLUTION NO. 2014-7 "RESOLUTION AUTHORIZING THE CITY MANAGER TO EXECUTE A CHANGE ORDER WITH R.D. BRASWELL CONSTRUCTION COMPANY FOR BERKELEY BOULEVARD UTILITY IMPROVEMENTS INFORMAL BID REQUEST NO. 2013-010"

Pay and Classification Study Final Recommendation. Approved. A special Council meeting was held on August 30, 2013, and information presented to Council by Mr. Phillip Robertson with the Mercer Group on the Pay and Classification Study as a "final report". Following his presentation, Council asked questions and requested additional information from the City Manager. Additional information was submitted the same day as requested for Council review. Another special meeting was conducted September 23, 2013; following the presentation of additional information by the City Manager, Council gave the City Manager permission to proceed with the recommendations as presented.

All employees were sent notification letters concerning the Pay and Class Study recommendations by the consultant. The notification letters were each sealed and forwarded to department Wednesday, October 9th to the attention of the department head. The deadline for employees to submit their request for review was Friday, October 25th. Also, the HR Director attached a Factor Evaluation System information sheet which gave the employee a definition of each factor and a "Request for Review Form". Upon receipt and review of notification letter, any employee who felt the factor level did not adequately describe their position, could complete the form. The employee needed to provide additional information or clarification regarding why they felt that level should be changed. The form also had a deadline date and time to submit to Human Resources (Attention: Faye Reeves) so that meetings and/or telephone conversations could be scheduled for discussion with the department head and/or employee and our implementation timeline could be met.

The HR Director received 38 requests, the statements ranged from one sentence to 7 pages. The forms were forwarded to Mr. Robertson on Monday, October 28th via FedEx.

Upon further review by management and the consultant, final recommendations from Mr. Robertson were received January 8, 2014. Employees were sent final notification letters informing them of the recommendations by the consultant which were approved by the City Manager. As a result, only thirteen (13) position changes were made (attachment 1). This process has been extensive but a great learning experience.

Staff recommended City Council approve the final "Recommended Position Titles" for the City of Goldsboro, North Carolina. Consent Agenda. Allen/Headen (7 Ayes)

Audit – Fiscal Year 2012-13. Accepted as Information. The General Statutes of the State of North Carolina require that the City of Goldsboro undertake an independent audit of its financial records on an annual basis. The City has contracted with the firm of Carr, Riggs, and Ingram CPAs and Advisors to perform its yearly financial review.

The June 30, 2013 financial statements continue the format changes mandated by the Governmental Accounting Standards Board Statement 34. The most important changes are the presentation of a government-wide financial statement, the management's discussion and analysis, presentation of individual fund data for each major fund, and expanded budgetary reporting.

The Audit examines, by fund, all categories of the City's revenues and expenditures. It also illustrates revenues and expenditures by reporting the amounts on the original budget plus the

final budget compared to the amounts that were actually received and spent throughout the Fiscal Year.

In addition to revenues and expenditures, the annual Audit addresses the City's bonded indebtedness, tax collections, fixed assets, investments, receivables and cash accounts. A balance sheet describing all funds is presented in the financial section of the Audit.

The Audit document also examines the collection and disbursement of State Grants and Community Development Funds, and comments on the compliance aspect of the expenditures of these monies relative to the procedures existing within State and Federal rules and regulations.

Council received a copy of the audit for Fiscal Year 2012-13.

TIGER V Funded Union Station/Gateway Projects – Architectural Services.

Resolution Adopted. Ordinance Adopted. On December 15th, 2008, City Council approved a budget ordinance to fund a 10% match to a \$900,000 FHWA Enhancement grant we received via the NCDOT Rail Division for the Union Station project. These grant monies were to be utilized for stabilization and design costs of the building, property improvements and associated streetscape work. At the August 3, 2009 City Council Meeting, a resolution was adopted to permit the Mayor to enter an architectural services agreement for professional design services with David E. Gall, Architect.

We currently have \$85,871.25 remaining of this grant and the City has \$9,541.25 left budgeted for our match.

On August 5, 2013, City Council approved a budget amendment ordinance to hire David E. Gall, Architect, and fund 10% of the design services costs for the Gateway Transfer Center. The remaining portion of this cost was provided via two existing FTA grants we received in 2010 and 2012 earmarked for design service and construction costs totaling to \$1,669,576 with our local match of \$166,958.

We currently have \$1,368,089.64 remaining of these grant monies available.

The City and NCDOT excluded costs associated with contract and bid management for both the Union Station and the Gateway Transfer Center projects due to the unknown timing and phasing of each. With the TIGER V grant requirements, additional bidding work is required to incorporate into the bid packages and manage the projects. In addition, these projects require adjustments in the existing prepared construction plans for Union Station since the rehabilitation of the building and six feet of property improvements surrounding the building will be omitted due to the lack of funding available for this component. These changes will require additional design services. Furthermore, due to the type of construction work and timing of the work, it has been recommended to bid these projects in two separate bid packages, including one for the Union Station associated streetscape work and one for the construction of the transfer center and the property improvements.

The additional fee submitted by David E. Gall, Architect, for this work is \$79,005. In order to properly match the costs of these services to their corresponding project expenses and per the above referenced grant funding sources, we requested the architect to break out the costs for each project. Those costs attributed to the Union Station project are \$69,680 while the Gateway Transfer Center project is responsible for \$9,325.

We have adequate funds budgeted for our 10% share of the \$69,680 at \$6,968 (FHWA grant) but we currently do not have the 10% share of the \$9,325 at \$932.50 budgeted for the FTA portion.

In addition, City policy requires City Council's approval to adopt a resolution authorizing a services agreement in excess of \$10,000.

Staff recommended Council adopt the following entitled resolution authorizing the Mayor to sign an agreement between the City of Goldsboro and David E. Gall, Architect, for additional architectural services relative to the construction of Gateway Transfer Center, Union Station Streetscape and Union Station/Gateway Transfer Center property improvements not to exceed \$79,005 and adopt the following entitled budget ordinance appropriating \$932.50 (10% of the

total cost of services associated with the FTA grants and the Gateway Transfer Center project at \$9,325.00) for the additional services agreement of the Gateway Transfer Facility. Consent Agenda Approval. Allen/Headen (7 Ayes)

RESOLUTION NO. 2014-8 “RESOLUTION AUTHORIZING THE MAYOR AND CITY CLERK TO SIGN AN AGREEMENT WITH DAVID E. GALL FOR ARCHITECTURAL SERVICES”

ORDINANCE NO. 2014-4 “AN ORDINANCE AMENDING THE BUDGET ORDINANCE FOR THE CITY OF GOLDSBORO FOR THE 2013-14 FISCAL YEAR”

Phase II Environmental Assessment – Gold’s Inn Property. Ordinance Adopted. A Phase I Environmental Site Assessment has been contracted to be performed by Duncklee & Dunham on the former Gold’s Inn Property located at 808 West Grantham Street. When the Phase I Environmental Assessment is completed, a Phase II Environmental Assessment will be necessary to adequately determine if any substantial environmental issues exist on the property.

The city has received a proposal from Duncklee & Dunham to prepare a Phase II Environmental Assessment for a not to exceed dollar amount of \$18,000.

Staff recommended Council authorize the City Manager to sign an agreement between the City of Goldsboro and Duncklee & Dunham for the Phase II Environmental Assessment of the former Gold’s Inn property at a cost not to exceed \$18,000 and adopt the following entitled budget ordinance appropriating an amount not to exceed \$18,000 for the Phase II Environmental Assessment of the former Gold’s Inn property. Consent Agenda Approval. Allen/Headen (7 Ayes)

ORDINANCE NO. 2014-3 “AN ORDINANCE AMENDING THE BUDGET ORDINANCE FOR THE CITY OF GOLDSBORO FOR THE 2013-14 FISCAL YEAR”

Community Affairs Commission Appointment. Resolution Adopted. On December 31, 2012, Ms. Tracey J. Belton was appointed to serve on the Community Affairs Commission to her first term with her term expiring on December 31, 2014 and has resigned.

Mr. Gaspar Gonzalez has submitted an application to serve on the Community Affairs Commission. Staff would recommend Mr. Gaspar Gonzalez to fill the unexpired term left by Ms. Belton’s resignation whose term expires on December 31, 2014. Two vacancies still remain on the commission.

Staff recommended Council adopt the following entitled Resolutions appointing Gaspar Gonzalez to the Community Affairs Commission and commending an individual who has served on the Community Affairs Commission of the City of Goldsboro. Consent Agenda Approval. (7 Ayes)

RESOLUTION NO. 2014-9 “RESOLUTION APPOINTING A MEMBER TO AN ADVISORY BOARDS AND COMMISSION”

RESOLUTION NO. 2014-10 “RESOLUTION COMMENDING AN INDIVIDUAL WHO HAS SERVED ON THE COMMUNITY AFFAIRS COMMISSION OF THE CITY OF GOLDSBORO AND DIRECTING THE MAYOR ON BEHALF OF THE CITY COUNCIL TO PRESENT THE INDIVIDUAL WITH A CERTIFICATE OF APPRECIATION”

Monthly Departmental Reports. Accepted as Information. The various departmental reports for the month of December, 2013 were submitted for the Council’s approval. It was recommended that Council accept the reports as information. Consent Agenda Approval. Allen/Headen (7 Ayes)

End of Consent Agenda.

City Manager’s Report. No report.

City Attorney’s Report and Recommendations. No report.

Mayor and Councilmembers' Reports and Recommendations. Mayor King read the following Resolution.

Resolution Expressing Appreciation for Services Rendered by Captain John J. Biggins as an Employee of the City of Goldsboro for more than 27 Years. Resolution Adopted. Captain John Biggins retires on January 31, 2014 as a Police Support Services Supervisor in the Goldsboro Police Department of the City of Goldsboro with more than 27 years of service. The Mayor and City Council of the City Goldsboro would like to express their deep appreciation and gratitude for the dedicated service rendered during his tenure with City of Goldsboro and offered John their very best wishes for success, happiness, prosperity and good health in his future endeavors.

Upon motion of Mayor King, seconded by Councilmember Headen and unanimously carried, Council adopted the following entitled Resolution.

RESOLUTION NO. 2014-6 "RESOLUTION EXPRESSING APPRECIATION FOR SERVICES RENDERED BY CAPTAIN JOHN J. BIGGINS AS AN EMPLOYEE OF THE CITY OF GOLDSBORO FOR MORE THAN 27 YEARS"

Mayor Pro Tem Broadaway congratulated Kaye and her staff for a great job with the audit. He stated he appreciated them keeping us straight.

Councilmember Headen had no report.

Councilmember Goodman stated he would like to acknowledge Ms. LaTerrie Ward, the Community Affairs Commission, staff and volunteers for the outstanding Martin Luther King, Jr. Breakfast celebration. He shared he really enjoyed the program.

Councilmember Williams had no report.

Councilmember Allen had no report.

Councilmember Aycock had no report.

Mayor King shared Ms. Ward and her staff did a fantastic job on the Martin Luther King, Jr. Breakfast celebration and he enjoyed the speaker.

There being no further business, the meeting adjourned at 7:46 p.m.

Alfonzo King
Mayor

Melissa Corser, CMC
City Clerk

CITY OF GOLDSBORO
AGENDA MEMORANDUM
MARCH 3, 2014 COUNCIL MEETING

SUBJECT: CU-1-14 Eddie Uzzell –West side of N. Spence Avenue
between Royall Avenue and US 70 East (Internet Café)

BACKGROUND: The applicant requests a Conditional Use Permit in order to
operate an Internet Café (on-line sweepstakes business).

The subject location is a 20 ft. wide commercial space within
North Plaza Shopping Center on Spence Avenue (across the
street from Wal-Mart).

Width: 20 ft.

Depth: 90 ft.

Area: 1,800 sq. ft., or .04 acres

Zoning: Shopping Center

DISCUSSION: The submitted site plan indicates an existing commercial
strip mall with individual tenant spaces serving various
mixed uses. Uses include retail sales, a hair salon training
school, and office space.

The submitted floor plan shows an assembly area of
approximately 1,000 square feet for the gaming operation
which will include a total of 20 machines. Other areas for an
office, storage and restrooms are also shown. Based on two
parking spaces per computer and one parking space per
employee, a total of 42 parking spaces will be required. The
existing site plan shows that there are currently 220 parking
spaces for use with handicapped parking available.

The applicant has requested a modification of the distance
requirement from residentially zoned or developed property
from 200 ft. to zero (0) feet. Abutting property to the west
(behind the shopping center) is zoned R-16 Residential but is
not currently developed.

Hours of Operation: 10:00 a. m. to 1:00 a. m.
(7 days per week)

No. of employees: 1-2

At the public hearing held on February 17, 2014, one person appeared to speak in opposition to the request. No one appeared in favor.

The Planning Commission, at their meeting held on February 24, 2014, recommended approval of the Conditional Use Permit and submitted site plan with the distance modification from residentially zoned or developed property from 200 ft. to zero (0) feet.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and:

1. Adopt an Order approving the request for a Conditional Use Permit to allow the operation of an internet café (electronic gaming establishment) with a modification of the 200 ft. distance requirement from residentially zoned or developed property to zero (0) ft.; and
2. Approve the submitted site and floor plans setting forth specific details regarding development of the establishment

Date: _____

Planning Director

Date: _____

City Manager

ssj

CITY OF GOLDSBORO

STATE OF NORTH CAROLINA

ORDER **APPROVING** A CONDITIONAL USE PERMIT

The City Council of the City of Goldsboro, North Carolina, having held a public hearing on February 17, 2014 to consider Conditional Use Permit application number:

CU-1-14 Eddie Uzzell – West side of North Spence Avenue
between Royall Avenue and US 70 East

to allow the operation of an internet café/sweepstakes facility (electronic gaming operation), having heard all of the evidence and arguments presented and reports from City officials and having received a recommendation for **approval** from the Goldsboro Planning Commission pertaining to said application, makes the following:

FINDINGS OF FACT

1. The City Council finds that there are certain uses that exist which may be constructed, continued and/or expanded if they meet certain mitigating conditions specific to their design and/or operation. Such conditions ensure compatibility among uses and building types so that different uses may be located in proximity to one another without adverse effects to either.
2. Even if the permit-issuing body finds that the application complies with all the other provision of the City's Unified Development Ordinance, it may still deny the permit if it concludes, based upon information submitted at the hearing, that, if completed as proposed, the development:
 - a. Will materially endanger the public health or welfare; or
 - b. Will substantially injure the beneficial use of adjoining or abutting property; or
 - c. Will not be in harmony with existing development and uses within the area in which it is located; or
 - d. Will not be in general conformity with the Comprehensive Plan, Thoroughfare Plan or other plan officially adopted by the Council.
3. The City of Goldsboro's Unified Development Ordinance provides the following regulations which are specific to the applicant's request for a place of entertainment with no ABC permits.

Chapter 5.5 Supplemental Use Regulations

5.5.4 Special and Conditional Use Specific Regulations

Internet Café/Sweepstakes Facilities – Electronic Gaming Operations)

Permitted Districts: General Business, Shopping Center, Highway Business and I-2 General Industry. **(The subject property is zoned Shopping Center.)**

Approval Criteria

1. No establishment shall be located within two hundred (200) feet of any residentially zoned or developed property, church or school. Where the proposed establishment is separated from residentially zoned or developed property by a four-lane highway, the two hundred (200) foot separation shall only apply to the properties along the sides and rear of the establishment. No such establishment shall be located within two hundred (200) feet of any other such establishment.

The property is adjacent to a site which is zoned residentially but is currently vacant. A modification of the 200 ft. requirement to zero (0) ft. is included with adoption of this Order.

2. The hours of operation for such operations shall be limited to 7:00 a. m. to 2:00 a. m. Uses which are legally existing at the time of adoption of this ordinance shall have thirty (30) days to come into compliance with the hours of operation limitation as defined in this section.

The applicant's establishment will operate from 10:00 a. m. to 1:00 a. m., Monday through Sunday.

Based upon the foregoing FINDINGS OF FACT, the City Council makes the CONCLUSION that the proposed use **does** satisfy the general conditions imposed on the Council in its deliberations for issuing a Conditional Use Permit under Section 2.2.8 of the City of Goldsboro Zoning Ordinance.

Upon motion made by Councilmember _____ and seconded by Councilmember _____, the Council accepted the recommendation of the Planning Commission and approved the applicant's request for a Conditional Use Permit to allow the operation of an internet café/sweepstakes facility (electronic gaming operation).

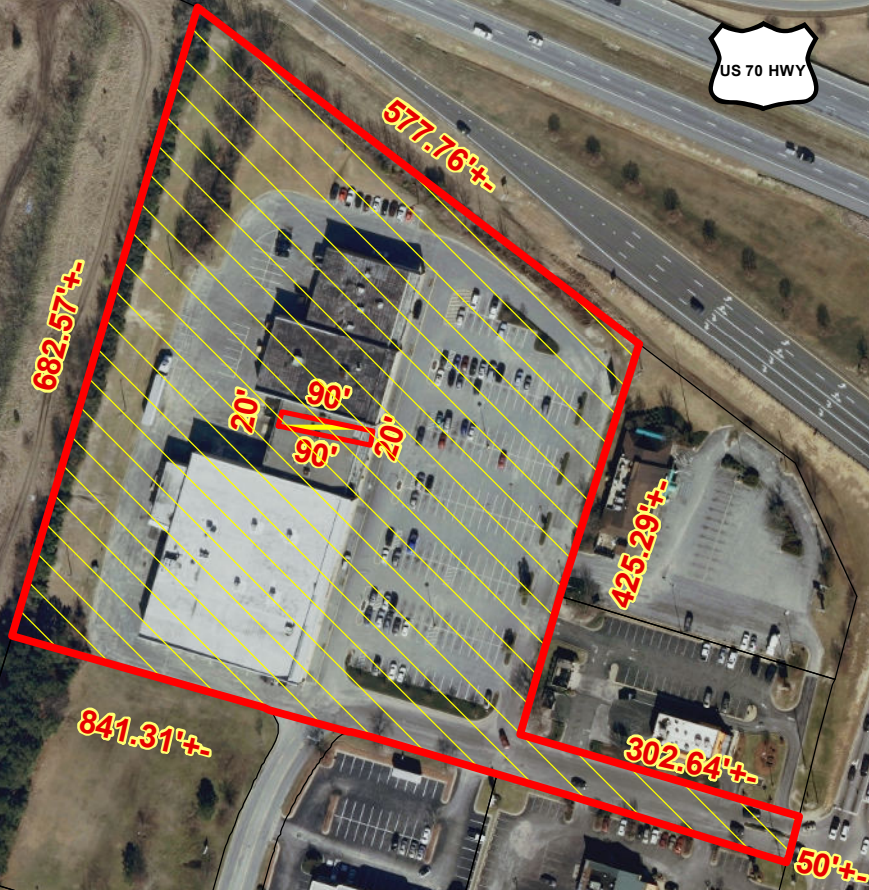
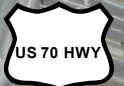
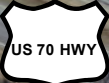
Therefore, because the City Council concludes that the general conditions precedent to the issuance of a CONDITIONAL USE PERMIT **HAVE BEEN** satisfied, IT IS ORDERED that the application for the issuance of a CONDITIONAL USE PERMIT to allow the operation of an internet café/sweepstakes facility (electronic gaming operation) be **APPROVED**.

Thus ordered this _____ day of _____, 2014.

Al King, Mayor

James D. Womble, City Attorney

CU-1-14 EDDIE UZZELL



CITY OF GOLDSBORO SITE PLAN APPROVAL

CITY CLERK

DATE

CITY ENGINEER

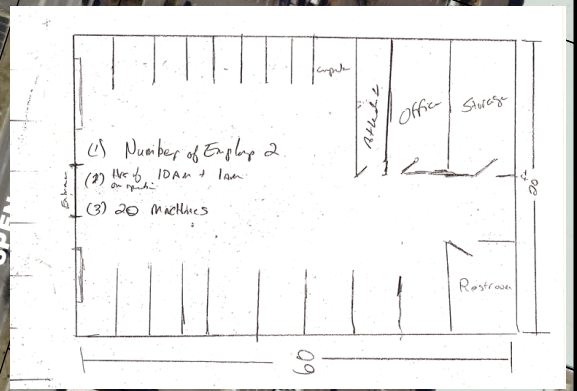
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PLANNING DIRECTOR

DATE

OWNER SIGNATURE

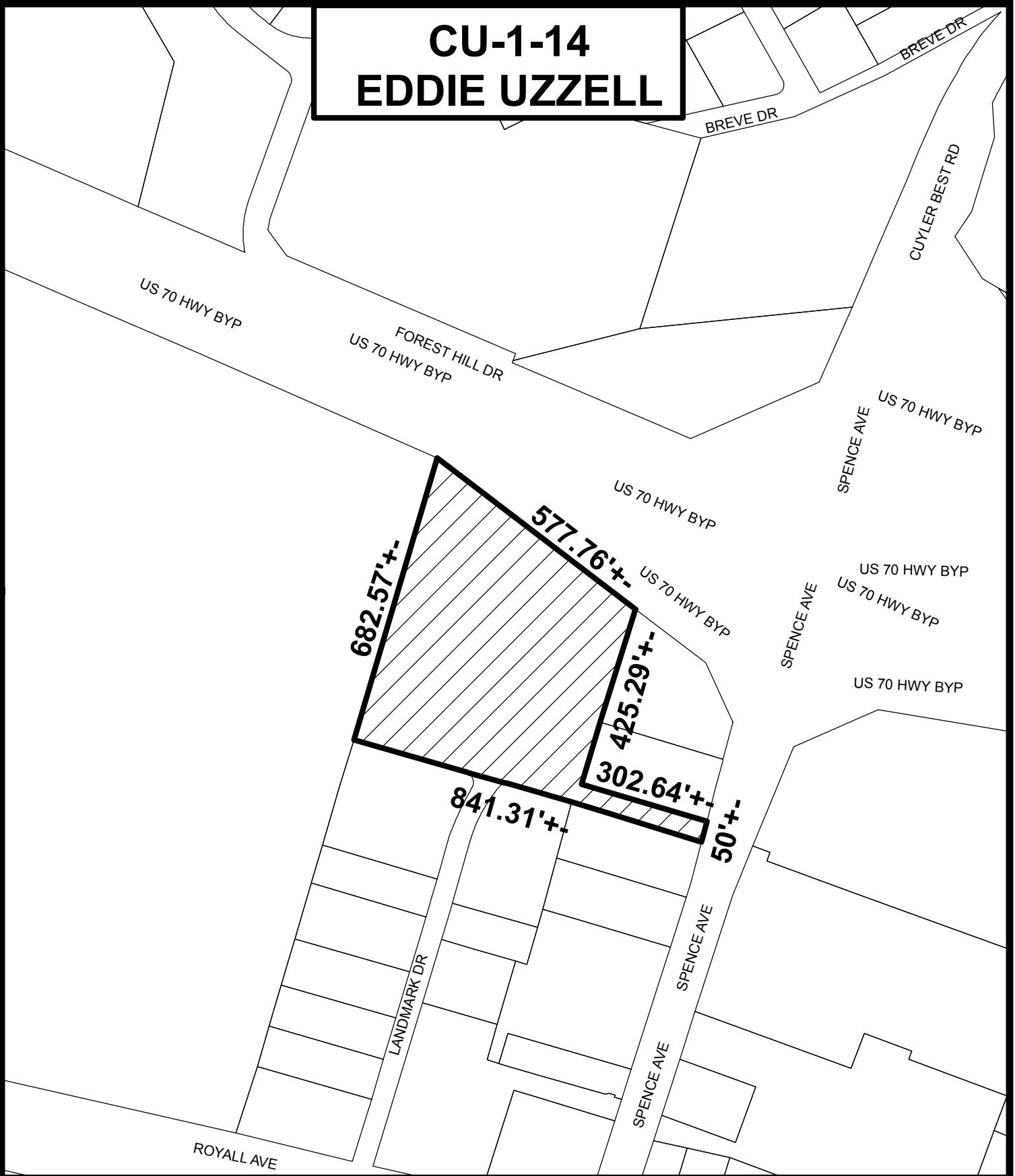
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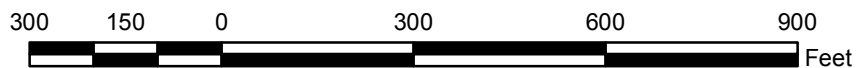
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CU-1-14 EDDIE UZZELL



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CITY OF GOLDSBORO

AGENDA MEMORANDUM

MARCH 3, 2014 COUNCIL MEETING

SUBJECT: CU-2-14 Rebecca Paschket –South side of East Ash Street
between Leslie and Lionel Streets

BACKGROUND: The applicant requests a Conditional Use Permit to operate a
place of entertainment with no ABC permits in conjunction
with retail sales.

Frontage: 158.70 ft. (East Ash Street)

Depth: 209.27 ft.

Area: .76 acres

Zoning: General Business

DISCUSSION: The submitted site plan indicates an existing commercial strip
center with individual tenant spaces serving various mixed
uses. Uses include a church, tax preparation office, insurance
office and retail sales. The property address is 706-D East Ash
Street.

The submitted floor plan shows an assembly area of
approximately 600 square feet. In addition, other areas for the
sale of gaming accessories, storage and restrooms are
illustrated. Based on one parking space per 32 sq. ft. of
assembly area, a total of 18 parking spaces will be required.
There are currently 42 parking spaces available for use
including one handicapped parking space.

The applicant states that the greatest demand for parking
would be when gaming tournaments are scheduled. They do
not intend to schedule tournaments coinciding with the church
activities held on Sundays and Tuesday evenings.

Hours of Operation

5:00 p. m. to 10:00 p. m. (Monday through Thursday)

4:00p.m. to 12:00 p. m. (Friday)

12:00 p. m. to 12:00 Midnight (Saturday)

1:00 p. m. to 10:00 p. m. (Sunday)

No. of employees: 1-2

At the public hearing held on February 17, 2014, six people

appeared and spoke in favor of the request. No one appeared in opposition.

The Planning Commission, at their meeting held on February 24, 2014, recommended approval of the Conditional Use Permit and submitted site and floor plans.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and:

- 1. Adopt an Order approving a Conditional Use Permit to allow the operation of a place of entertainment with no ABC permits in conjunction with retail sales; and
- 2. Approve the submitted site and floor plans detailing the development of the establishment.

Date: _____
Planning Director

Date: _____
City Manager

ssj

CITY OF GOLDSBORO

STATE OF NORTH CAROLINA

ORDER **APPROVING** A CONDITIONAL USE PERMIT

The City Council of the City of Goldsboro, North Carolina, having held a public hearing on February 17, 2014 to consider Conditional Use Permit application number:

CU-2-14 Rebecca Paschket – South side of East Ash Street between
Leslie and Lionel Streets

to operate a place of entertainment with no ABC permits (gameroom in conjunction with retail sales) having heard all of the evidence and arguments presented and reports from City officials and having received a recommendation for **approval** from the Goldsboro Planning Commission pertaining to said application, makes the following:

FINDINGS OF FACT

1. The City Council finds that there are certain uses that exist which may be constructed, continued and/or expanded if they meet certain mitigating conditions specific to their design and/or operation. Such conditions ensure compatibility among uses and building types so that different uses may be located in proximity to one another without adverse effects to either.
2. Even if the permit-issuing body finds that the application complies with all the other provision of the City's Unified Development Ordinance, it may still deny the permit if it concludes, based upon information submitted at the hearing, that, if completed as proposed, the development:
 - a. Will materially endanger the public health or welfare; or
 - b. Will substantially injure the beneficial use of adjoining or abutting property; or
 - c. Will not be in harmony with existing development and uses within the area in which it is located; or
 - d. Will not be in general conformity with the Comprehensive Plan, Thoroughfare Plan or other plan officially adopted by the Council.
3. The City of Goldsboro's Unified Development Ordinance provides the following regulations which are specific to the applicant's request for a place of entertainment with no ABC permits.

Chapter 5.5 Supplemental Use Regulations

5.5.4 Special and Conditional Use Specific Regulations

Arcades/Game Rooms/Pool Halls/Places of Entertainment (including teen clubs)

– No ABC Permit)

Permitted Districts: Central Business District, General Business, Shopping Center, Highway Business. **(The subject property is zoned General Business.)**

Approval Criteria

1. Upon complaint from any person owning property within 400 ft. of the applicant's property, a public hearing before the City Council and Planning Commission may be scheduled by the City Council to determine what additional conditions, if any, may be needed to protect the public health, safety and welfare. Upon a finding that there has been an increase in the volume, intensity or frequency of the use or a use different than set forth in the conditional use permit, the City Council after the public hearing may modify, suspend or revoke the conditional use permit.
2. Six copies of the floor plan, drawn to scale, shall be submitted indicating the proposed uses within the structure including the location and number of all games and amusements.
3. A satisfactory statement setting forth the method and frequency of litter collection and disposal shall be submitted with the site plan.

Based upon the foregoing FINDINGS OF FACT, the City Council makes the CONCLUSION that the proposed use **does** satisfy the general conditions imposed on the Council in its deliberations for issuing a Conditional Use Permit under Section 2.2.8 of the City of Goldsboro Zoning Ordinance.

Upon motion made by Councilmember _____ and seconded by Councilmember _____, the Council accepted the recommendation of the Planning Commission and approved the applicant's request for a Conditional Use Permit to operate a place of entertainment with no ABC permits.

Therefore, because the City Council concludes that the general conditions precedent to the issuance of a CONDITIONAL USE PERMIT **HAVE BEEN** satisfied, IT IS ORDERED that the application for the issuance of a CONDITIONAL USE PERMIT to allow the operation of a place of entertainment without ABC permits be **APPROVED**.

Thus ordered this _____ day of _____, 2014.

Al King, Mayor

James D. Womble, City Attorney

SITE PLAN

REBECCA PASCHKET



CITY OF GOLDSBORO SITE PLAN APPROVAL

CITY CLERK

DATE

CITY ENGINEER

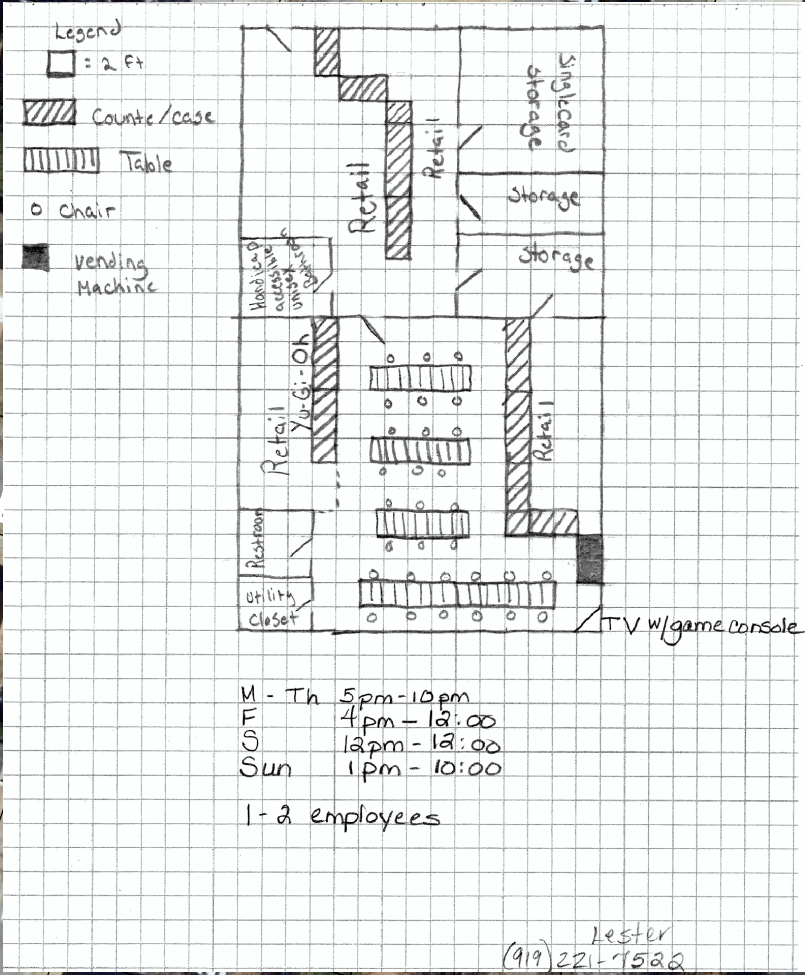
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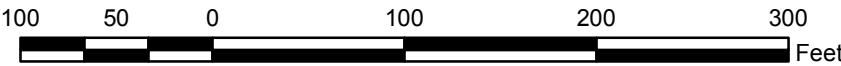
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OWNER SIGNATURE

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CU-2-14

REBECCA PASCHKET

LESLIE ST

ASH ST

VS ST

209.26'

209.27'

157.46'

158.70'

LIONEL ST

MULBERRY ST



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CITY OF GOLDSBORO

AGENDA MEMORANDUM

MARCH 3, 2014 COUNCIL MEETING

SUBJECT: Z-2-14 The First Pentecostal Holiness Church – North side of Cella Street and Newton Drive between The First Church Road and North Drive (R-9 to O&I-1 Conditional District)

BACKGROUND: The requested O&I-1 Conditional District zone is requested to limit the use of the property to church-related uses.

There are a total of nine lots included within the request on Newton Drive, Larue Circle and Cella Street. The applicant either currently owns the subject lots or is in the process of negotiating for purchase of the lots.

Total Area: 3.01 Acres (approx.)

Existing Use: All of the lots are occupied by single-family dwellings.

Proposed Use: If the zoning change is approved to Office & Institutional-1 Conditional District, use of the property will be limited to church-related uses.

Comprehensive Plan Recommendation: The City's updated Land Use Plan designates the property as Medium-Density Residential.

DISCUSSION: Engineering Comments: City water and sanitary sewer are available to serve the subject lots.

A Conditional District zone would normally require the submission of development plans at time of rezoning. The applicant has requested a waiver of that requirement until development is proposed.

At the public hearing held on February 17, 2014, no one appeared to speak either for or against the rezoning request.

The Planning Commission, at their meeting on February 24, 2014, recommended approval of the zoning change with a modification of the requirement that development plans be approved at time of rezoning. Plans will have to be approved by the Planning Commission and City Council prior to issuance of any building permits for the property.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and adopt an Ordinance changing the zoning for the property from R-9 Residential to Office and Institutional-1 Conditional District to limit the use of the property to church-related uses with a modification of the requirement that development plans be approved at time of rezoning.

Although not entirely compliant with the City's Comprehensive Plan recommendations which designate Medium-Density Residential, the change to O&I-1 Conditional District would limit future development to church-related uses which should be compatible with existing development and zoning in the area.

Date: _____
Planning Director

Date: _____
City Manager

ssj

ORDINANCE NO. 2014 -

**AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT ORDINANCE
OF THE CITY OF GOLDSBORO, NORTH CAROLINA
CODE OF ORDINANCES**

WHEREAS, after notice duly given according to law, a public hearing was held before the City Council and the Planning Commission at a regular meeting held in the Council Chamber, City Hall, on Tuesday, February 17, 2014, at 7:00 p. m., for the purpose of considering and discussing the passing of an ordinance amending the Unified Development Ordinance of the City of Goldsboro, North Carolina; and

WHEREAS, after completion of said public hearing and receipt of the recommendation of the Planning Commission, the City Council of the City of Goldsboro deems it advisable and for the best interest of the City and those residing within its zoning jurisdiction that the Unified Development Ordinance be amended as herein below set forth;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Goldsboro, North Carolina:

1. That the Unified Development Ordinance of the City of Goldsboro, North Carolina Code of Ordinances, be and the same is hereby amended by changing:

From R-9 Residential to Office and Institutional-1 Conditional District to allow only church-related uses. Detailed plans will have to be approved separately prior to development.)

Z-2-14 The First Pentecostal Holiness Church – North side of Cella Street and Newton Drive between The First Church Road and North Drive

The property is located on the north side of Cella Street and the north side of Newton Drive between The First Church Road and North Drive and contains a total of nine lots having the following approximate areas, addresses and Wayne County Tax Identification Nos.

<u>Tax ID Nos.</u>	<u>Address</u>	<u>Approximate Area</u>
12-3600-70-7188	1212 Newton Drive	0.29 Acres
12-3600-70-8145	1214 Newton Drive	0.24 Acres
12-3600-70-9112	1216 Newton Drive	0.24 Acres
12-3600-70-9362	1217 Newton Drive	0.23 Acres
12-3600-70-9089	1218 Newton Drive	0.29 Acres
12-3600-70-8040	201 Larue Circle	0.44 Acres
12-3509-79-9966	203 Larue Circle	0.40 Acres
12-3509-89-0803	205 Larue Circle	0.42 Acres
12-3509-79-7726	201 Cella Street	0.46 Acres

2. That the Official Zoning Map, Goldsboro, North Carolina, on file in the Office of the Director of Planning and Community Development be promptly changed to reflect this amendment and the appropriate entries in reference thereto be entered in the descriptive record of changes as provided in Section 2 of the Unified Development Ordinance.

3. That this Ordinance shall become effective from and after the entry of the changes or amendments herein made on the said Official Zoning Map.

Adopted this _____ day of _____ 2014.

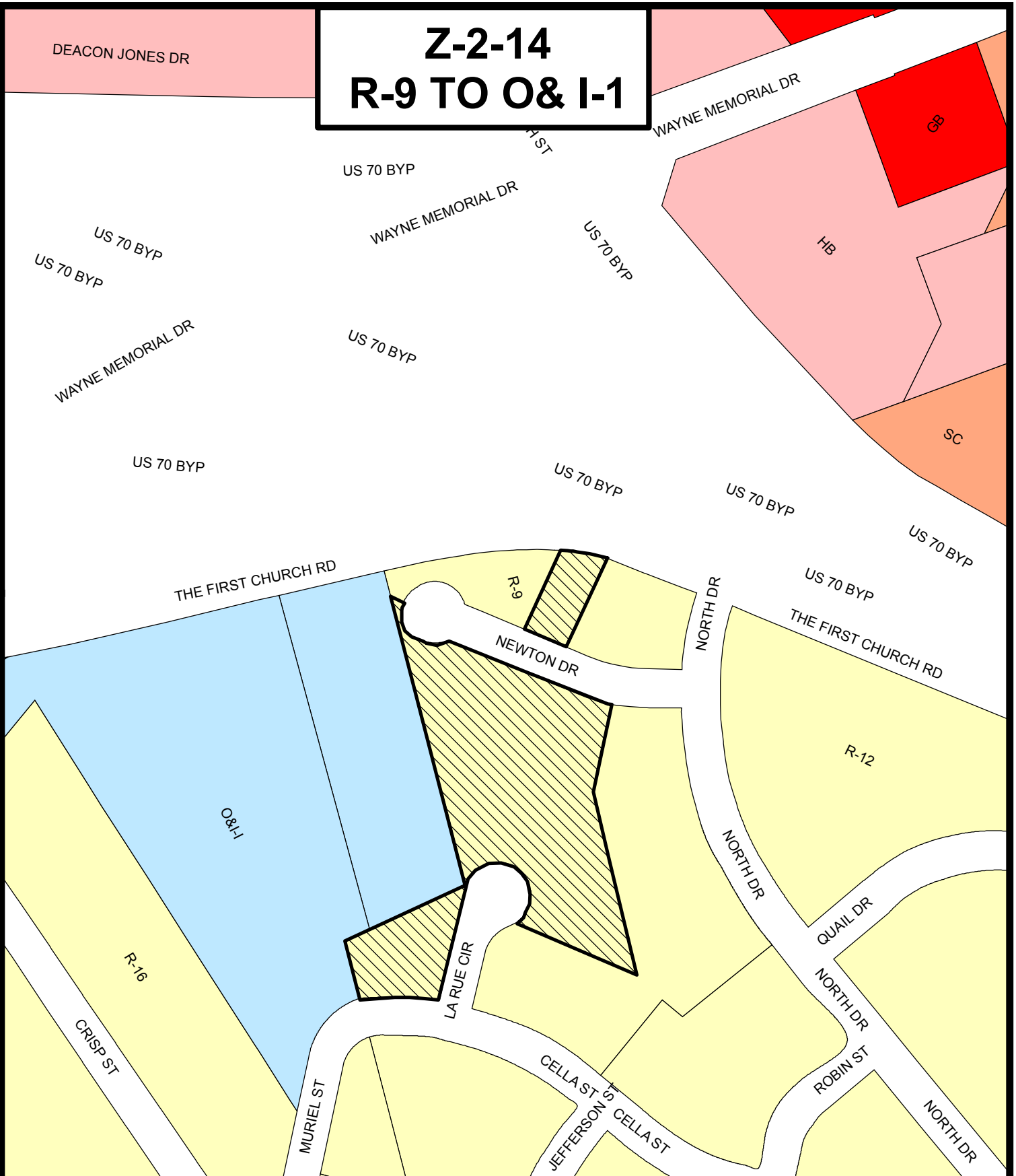
Approved as to Form Only:

Reviewed by:

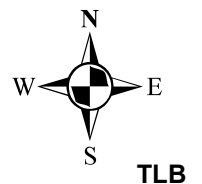
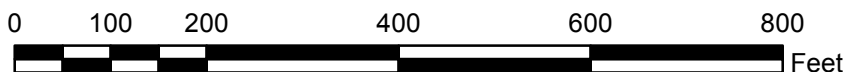
City Attorney

City Manager

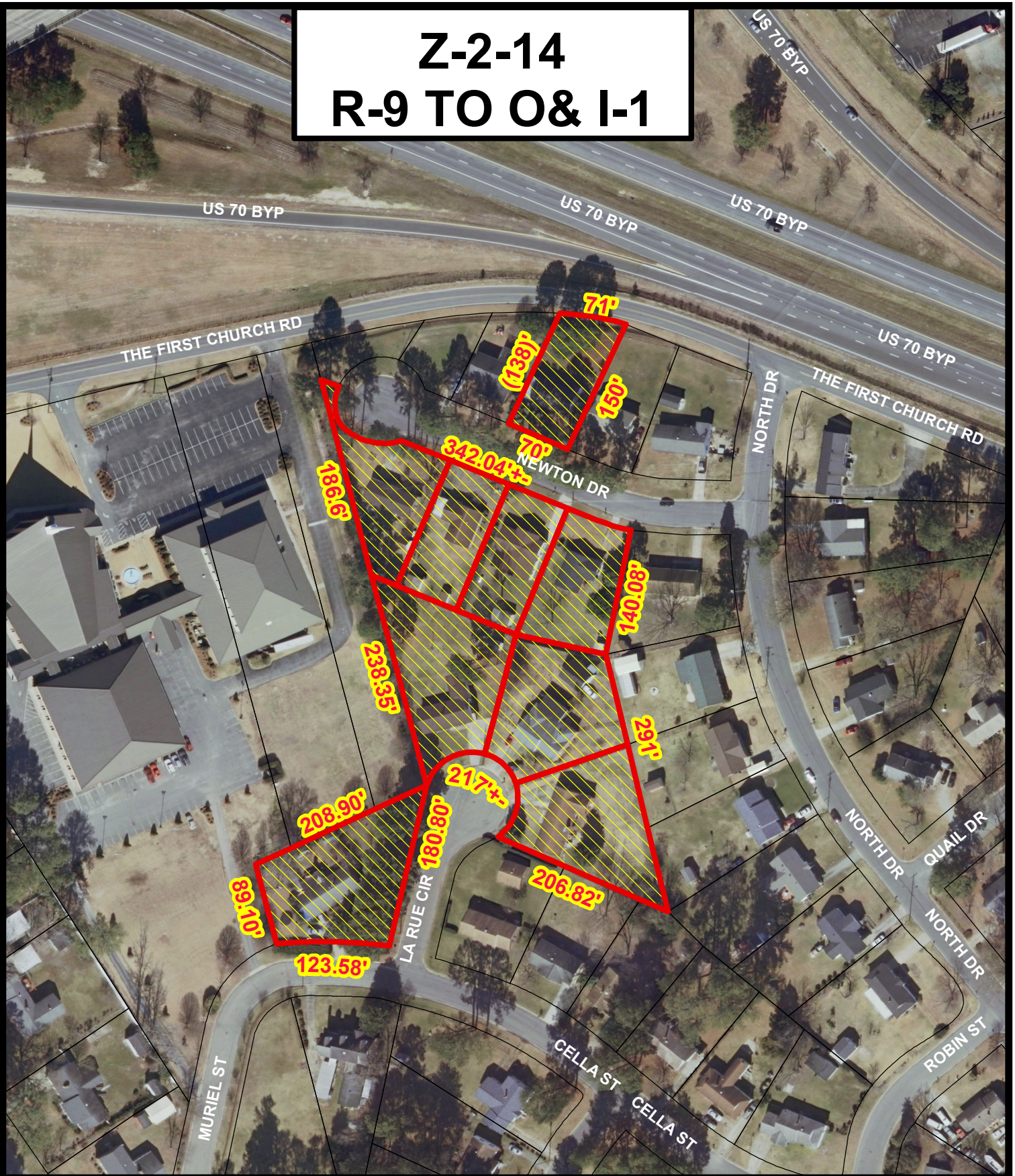
Z-2-14 R-9 TO O&I-1



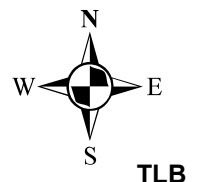
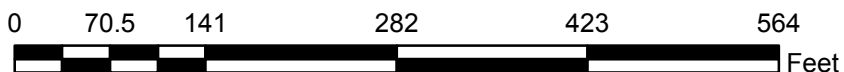
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Z-2-14 R-9 TO O& I-1



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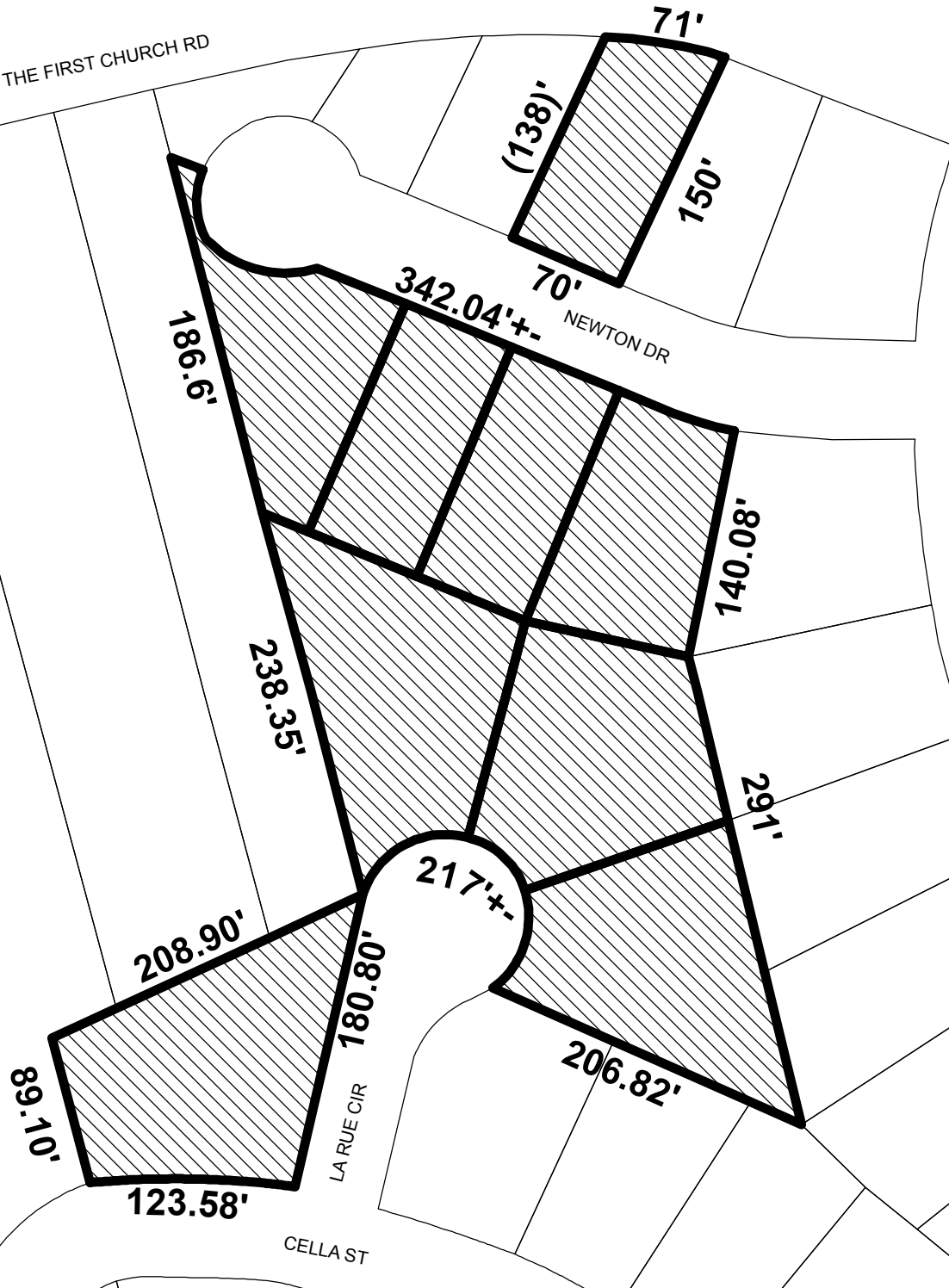


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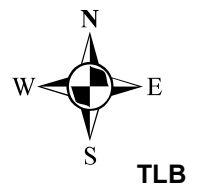
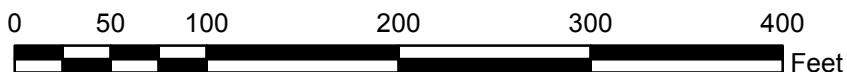
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Z-2-14 R-9 TO O& I-1

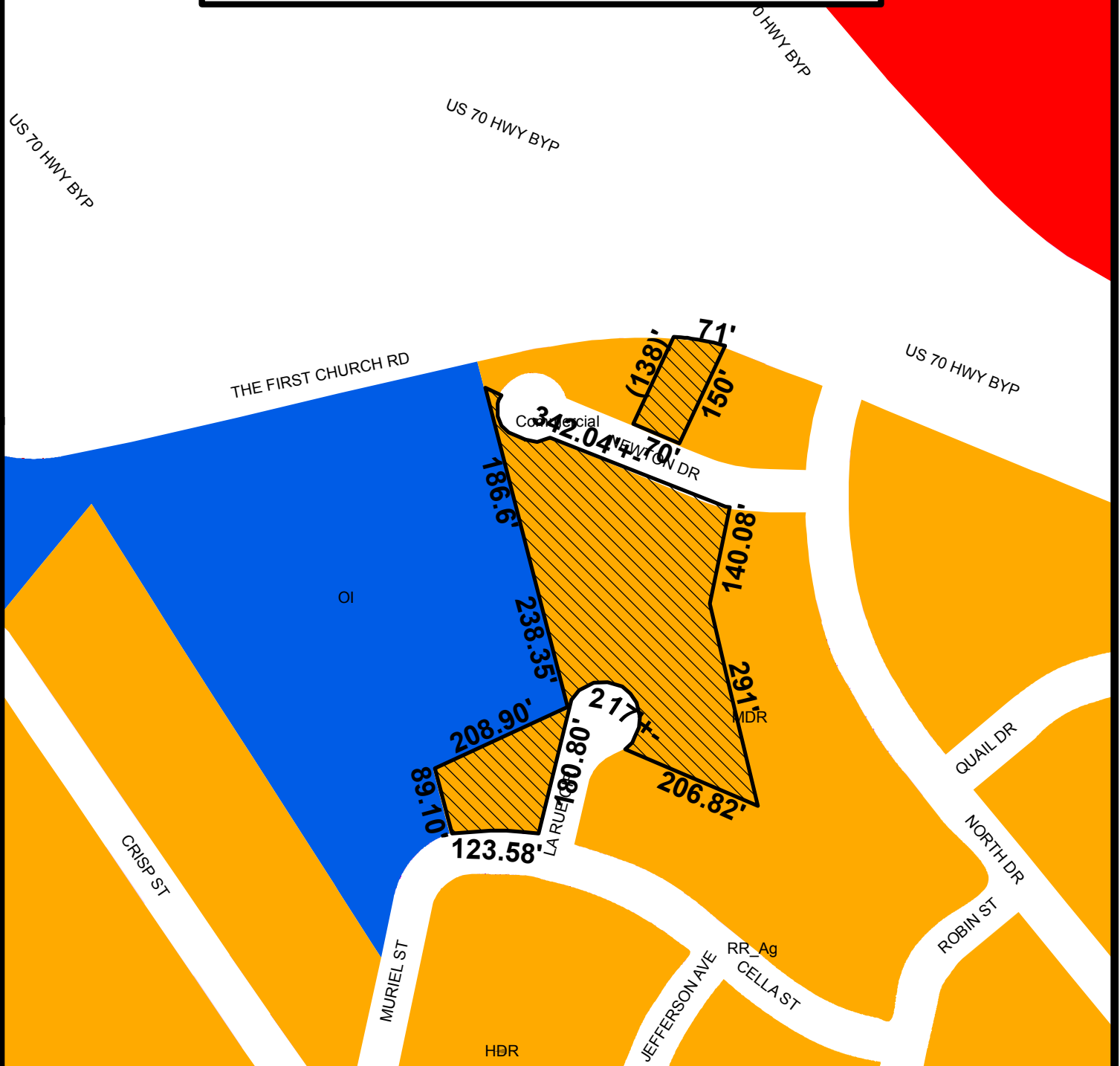
THE FIRST CHURCH RD



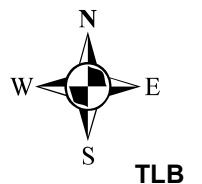
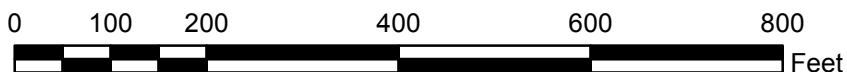
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Z-2-14 R-9 TO O& I-1 COMPREHENSIVE LANDUSE PLAN RECOMMENDATION



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CITY OF GOLDSBORO

AGENDA MEMORANDUM

MARCH 3, 2014 COUNCIL MEETING

SUBJECT: **Setting Public Hearing**
Non-Contiguous Annexation Request – Eugene Raynor Property (5.857 Acres)

BACKGROUND: The City Council, at their meeting on February 17, 2014, requested that the City Clerk examine the subject annexation petition for sufficiency. The City Clerk has completed the examination and has determined that the petition is sufficient. Sufficiency indicates that property is described accurately within 1:10,000 feet and that all property owners have signed the petition.

DISCUSSION: Pursuant to G. S. 160A-58.2, the Council shall fix a date for public hearing on the annexation if the petition is considered sufficient by the City Clerk.

The attached Notice of Public Hearing would schedule March 17, 2014 as the date for the public hearing. A report prepared by the Department of Planning and Community Development, in conjunction with other City departments, will be submitted to the Council on that date.

RECOMMENDATION: By motion, schedule a public hearing for the proposed annexation of the Eugene Raynor Property for March 17, 2014.

Date: _____
_____ Planning and Comm. Dev. Director

Date: _____
_____ City Manager

ssj

NOTICE OF PUBLIC HEARING
IN REGARDS TO THE ANNEXATION OF REAL NONCONTIGUOUS
PROPERTY
TO THE CITY OF GOLDSBORO, NORTH CAROLINA

Notice is hereby given that, in compliance with Section 160A-58.2 of the General Statutes of North Carolina, there will be a public hearing before the City Council of the City of Goldsboro, North Carolina, at its regular meeting in the Council Chambers, City Hall on **Monday, March 17, 2014, at 7:00 p. m.** relative to the annexation of the real noncontiguous property hereinafter described to the City of Goldsboro.

At this public hearing all persons owning property in the area proposed to be annexed who allege error in the Petition for Annexation filed in this matter, as well as residents of the City of Goldsboro who question the necessity for annexation, will be given an opportunity to be heard along with the proponents of such annexation. The description of the area proposed to be annexed is as follows:

Eugene Raynor Property

BEGINNING at a point marking the intersection of the easterly right-of-way limits of Wayne Memorial Drive and the southerly right-of-way of Tommy's Road; thence departing the right-of-way limits for said Wayne Memorial Drive and with the southerly right-of-way limits of said Tommy's Road the following two courses: N 82° 53' 47" E, 58.57 ft., thence continuing S 54° 29' 56" E, 381.69 ft. to an iron pipe found marking the intersection of the southerly right-of-way limits of said Tommy's Road and the Division Line between Lot 1 Triangle East Timber Co., Inc. (Plat Cabinet L, Slide 22-H) to the west and Lot 2 Triangle East Timber Company, Inc. (Plat Cabinet L, Slide 22-H) to the east; thence departing said right-of-way and with said division line S 40° 17' 30" W, 626.96 ft. to a point on said division line; thence departing said division line and through the said Lot 1, N 49° 42' 30" W, 420.00 ft. to a point in the easterly right-of-way line of said Wayne Memorial Drive, thence department said Lot 1 and with the easterly right-of-way line of said Wayne Memorial Drive, N 40° 17' 30" E, 551.97 ft. to the place of BEGINNING and containing 255,142 sq. ft., or 5.857 acres.

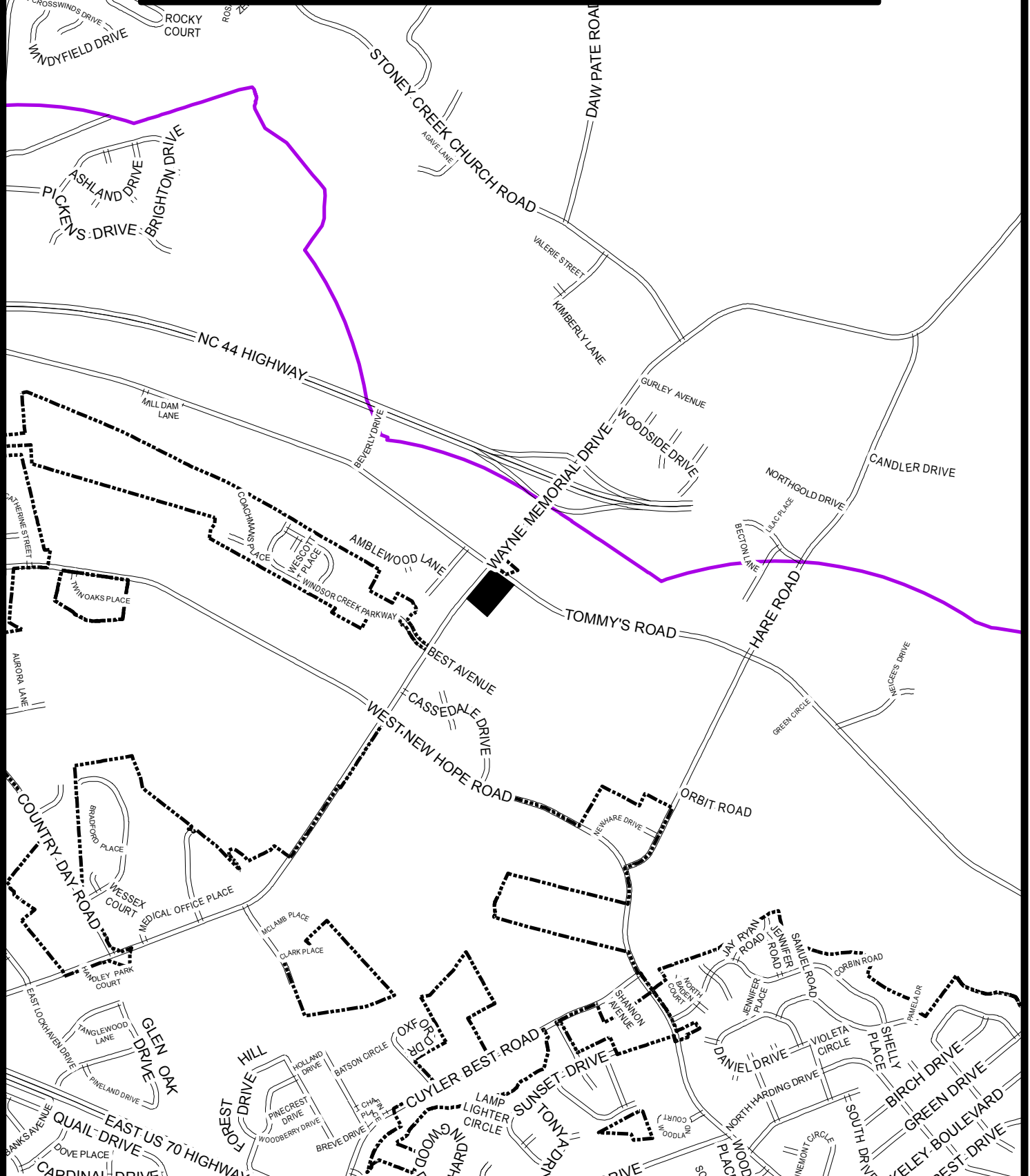
All interested persons are invited to attend this public hearing and to be heard. If you plan to attend and require a sign language interpreter, please contact the City Manager's office at City Hall at least four (4) days prior to the meeting.

PUBLISH: March 6, 2014

Melissa C. Corser, City Clerk

James D. Womble, City Attorney

NON-CONTIGUOUS ANNEXATION EUGENE RAYNOR



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NON-CONTIGUOUS ANNEXATION EUGENE RAYNOR



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CITY OF GOLDSBORO

AGENDA MEMORANDUM

MARCH 3, 2014 COUNCIL MEETING

SUBJECT: Site and Landscape Plans – Wal-Mart Neighborhood Market

BACKGROUND: The property is located on the southeast corner of Wayne Memorial Drive and Tommy's Road.

Frontages: 525 ft. (Wayne Memorial Drive) approx.
382 ft. (Tommy's Road) approx.

Area: 5.0 acres (approx.)

Zoning: Shopping Center

Zoning for the property was changed from Office and Institutional-1 to Shopping Center on February 6, 2012 (Z-1-12 Brad Mercer) . The original request to General Business included over 7.0 acres and was denied in order to limit the number of allowable uses, restrict development size and impose greater setbacks on proposed development.

DISCUSSION: The submitted site plan includes a proposal for a Walmart Neighborhood Market to be located on a 5-acre portion of the original tract extending to the Tommy's Road and Wayne Memorial Drive intersection. The property will have to be subdivided and there is currently no development proposal submitted for the remaining tract.

Access: One full-access curb cut is shown on Tommy's Road along the southern property line adjacent to Tommy's Road School. Two access points are shown on Wayne Memorial Drive which would include a right-in/right-out curb cut near the middle of the overall tract. Another curb cut further to the south would provide full-access. All three curb cuts will be served through a deceleration lane in order to avoid traffic conflicts. A middle turn lane will also be installed along both Wayne Memorial Drive and Tommy's Road. These plans have been submitted to NCDOT for review.

In regards to future access for the remaining portion of the overall tract which is not to be developed at this time, DOT has indicated that no additional curb cuts will be permitted unless the property is subdivided and sold. Access to that

tract would be through the southernmost curb cut on the Wal-Mart tract.

NCDOT will require that the developer dedicate a 75-ft. wide easement along Wayne Memorial Drive to allow for future widening of that roadway. The site plan indicates that parking for the Wal-Mart site will be located within this easement, however, DOT has indicated that this would be acceptable.

In addition, DOT will require that the middle turn lane on Wayne Memorial Drive be extended southerly to connect to the existing three-lane section near Windsor Creek.

Also, DOT will require the right-turn lane to be constructed on the south side of Tommy's Road a distance of 100 ft. in order to allow for stacking of vehicles entering the site from the west in order to avoid any back-up of vehicles.

Building Plans: A 41,839 sq. ft. retail store is proposed along with a 256 sq. ft. accessory structure which would be utilized in conjunction with a fuel station. The front of the building would be oriented towards Tommy's Road.

Parking: Based on one space per 300 sq. ft. of gross floor area a total of 141 parking spaces are required. The submitted plan shows a total of 168 parking spaces which includes 12 handicapped spaces. Two 12-ft. wide loading spaces are shown at the rear of the building extending to a loading dock.

Traffic Circulation: Vehicles on the lot will be able to circulate around the building and two-way access will be provided within each parking aisle. Painted markings and verbiage will indicate traffic flow direction as well as stopping and yielding locations. A drive-up window will be provided in conjunction with a proposed pharmacy on the north side (Wayne Memorial Drive side) of the building.

A separate fuel area will contain a total of 12 gas pumps with stacking area for vehicles that will not interfere with circulation throughout the adjacent parking area.

Stormwater: Calculations relative to stormwater for the site have been submitted to the Engineering Department for review. A stormwater management basin has been shown behind the building which will be enclosed with a chain link

fence. Stormwater calculations will have to be approved prior to issuance of any building permits for the site.

Lighting: Lighting plans have been submitted and have been approved by the Planning staff.

Landscaping: An extensive landscaping plan has been submitted which includes the following information:

1. Street Trees: A total of 56 street trees are shown which will include an assortment of Red Maple, Red Oak and Willow Oak trees.
2. Vehicular Surface Buffer: No vehicle surface area is provided within 15 ft. of the property line. Combinations of large trees and low growing shrubs are shown within parking area end aisles and entranceways to the property. A sight triangle at the intersection of Tommy's Road and Wayne Memorial Drive will be maintained which will allow for visibility at the corner.
3. Screening Buffers: A 10-ft. wide (Class A) buffer is shown between the site and the adjacent school property as well as to the rear of the building. Both of these buffers will contain large, medium and small evergreen shrubs consisting of hollies, abelias and wax myrtles.

Interconnectivity: A 25 ft. wide paved right-of-way is shown extending to the south which will provide for future interconnectivity to that property. This right-of-way will need to be extended to the property line since that will be the only access permitted for the southern tract. Interconnectivity to the school property is not proposed or shown.

Sidewalks: Sidewalks are not shown but will be required along both street frontages.

Utilities: Water service will be provided through Fork Township Sanitary District. The developer is working with the City for provision of sanitary sewer service.

Building Elevations: Due to the high visibility of this tract, especially as it relates to traffic generated from the US 70 Bypass, staff has been examining building elevations to insure that enough architectural details are provided which will break up the large wall masses associated with the development.

A petition for annexation of this property has been received and will be acted on by the Council separately.

The Planning Commission, at their meeting held on February 24, 2014, recommended approval of the site, landscape and building elevation plans subject to provision of sidewalks and revision of building elevation plans in accordance with staff recommendations.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and approve the site, landscape and building elevations plan subject to provision of sidewalks and revision of building elevation plans in accordance with staff recommendations.

Date: _____
Planning Director

Date: _____
City Manager

ssj

SITE PLAN

WAL-MART NEIGHBORHOOD MARKET



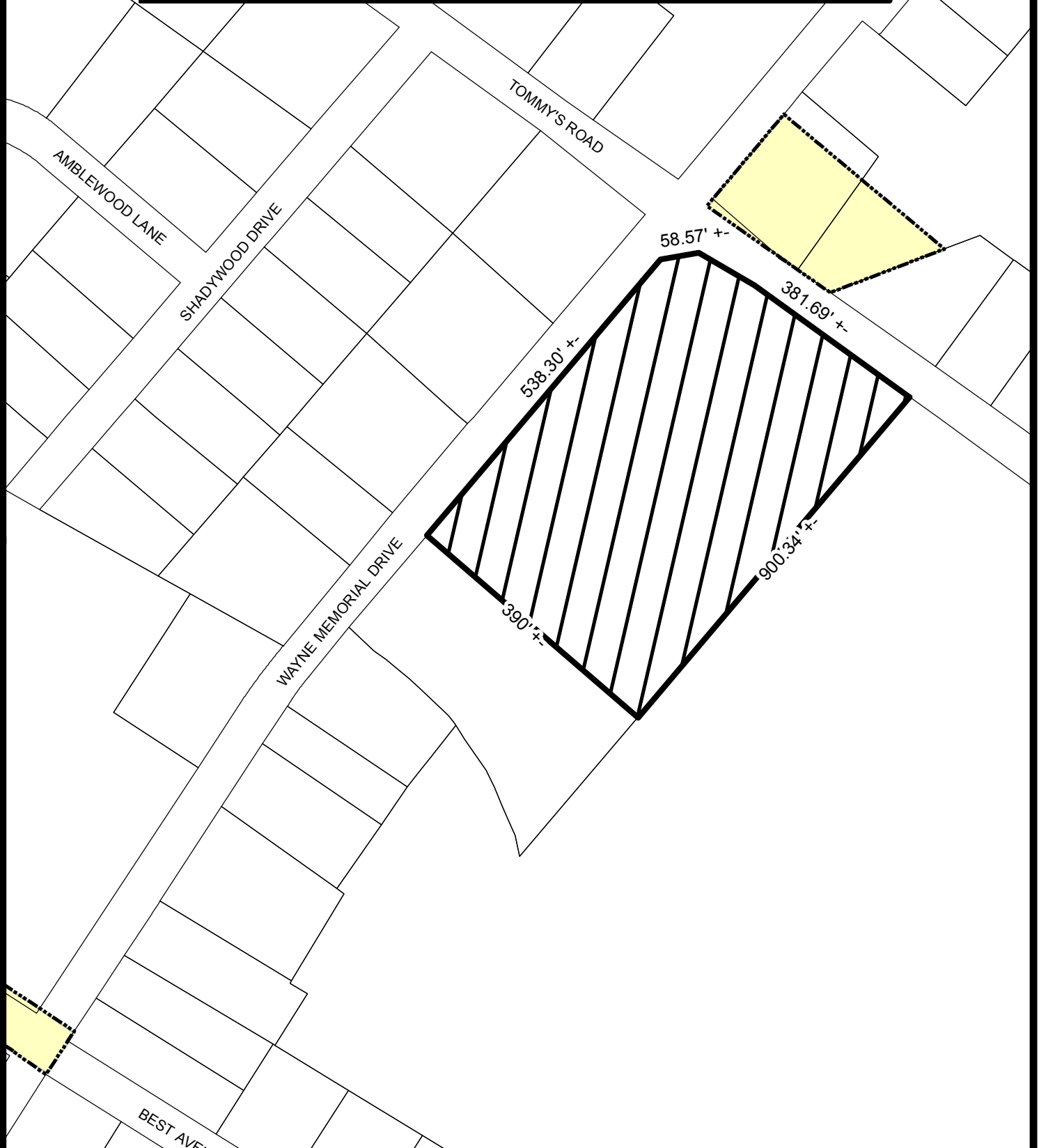
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SITE PLAN

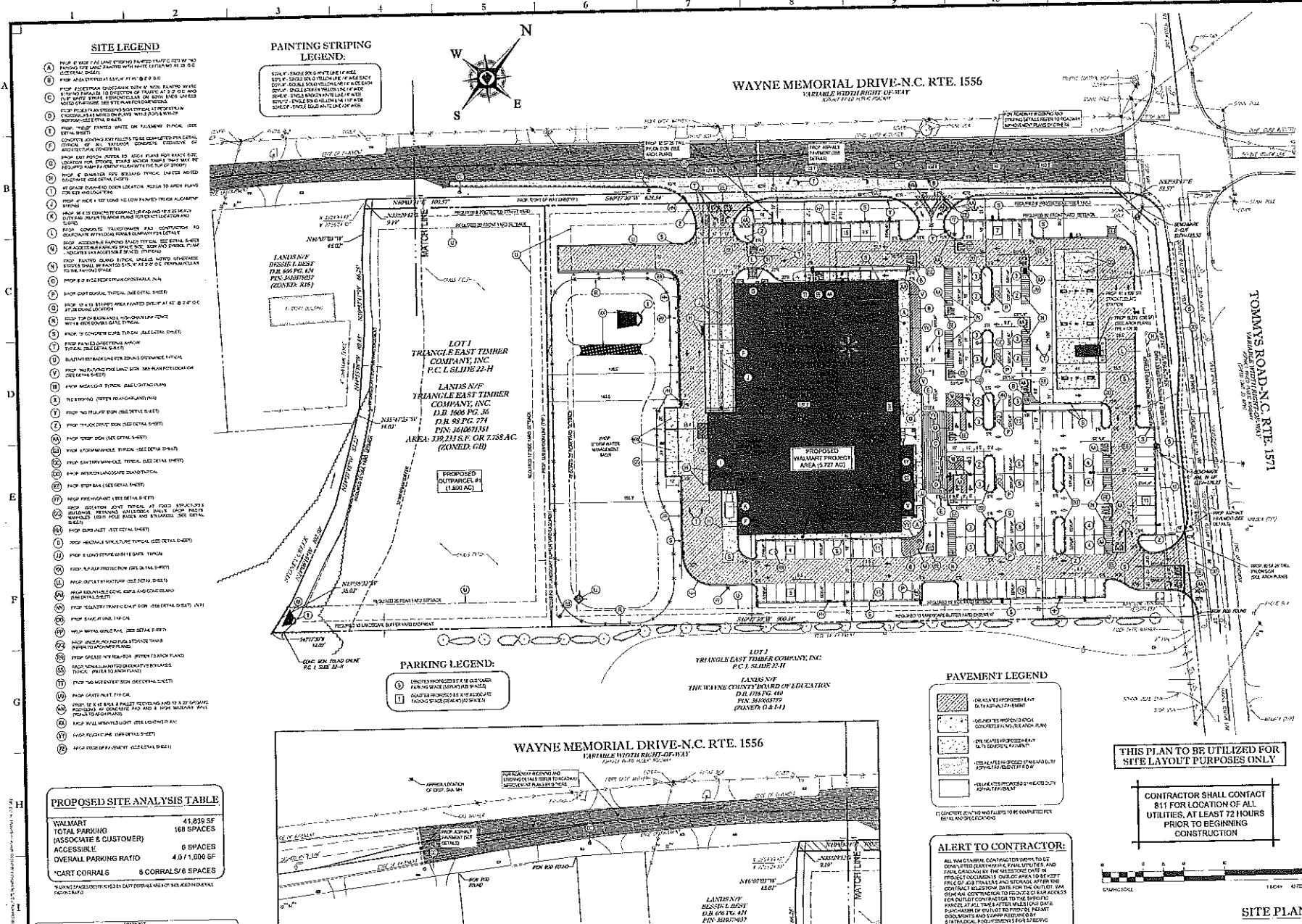
WAL-MART NEIGHBORHOOD MARKET



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SITE LEGEND

1. 1/2" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-1)
2. 1/4" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-2)
3. 1/8" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-3)
4. 1/16" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-4)
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15. 1/32768" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-15)
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120. 1/1329227995784915872905445398840345728" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-120)
121. 1/2658455991569831745810890797680691456" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-121)
122. 1/5316911983139663491621781595361382912" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-122)
123. 1/10633823966279326983243563190722765824" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-123)
124. 1/21267647932558653966487126381445531648" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-124)
125. 1/42535295865117307932974252762891063296" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-125)
126. 1/85070591730234615865948505525782126592" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-126)
127. 1/170141183460469231731897011051564253184" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-127)
128. 1/340282366920938463463794022103128506368" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-128)
129. 1/680564733841876926927588044206257012736" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-129)
130. 1/1361129467683753853855176088412514024576" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-130)
131. 1/2722258935367507707710352176825028049152" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-131)
132. 1/5444517870735015415420704353650056098304" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-132)
133. 1/10889035741470030830841408707300112176608" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-133)
134. 1/21778071482940061661682817414600224353216" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-134)
135. 1/43556142965880123323365634829200448706432" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-135)
136. 1/87112285931760246646731269658400897412864" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-136)
137. 1/174224571863520493293462539316801794245728" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-137)
138. 1/348449143727040986586925078633603588491456" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-138)
139. 1/696898287454081973173850157267207176982912" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-139)
140. 1/139379657490816394634770031453441435965584" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-140)
141. 1/278759314981632789269540062906882871931168" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-141)
142. 1/557518629963265578539080125813765743862336" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-142)
143. 1/1115037259926531157078160251627511487244672" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-143)
144. 1/2230074519853062314156320503255022974489344" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-144)
145. 1/44601490397061246283126410065100459497888" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-145)
146. 1/89202980794122492566252820130200918995776" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-146)
147. 1/178405961588244985132505640260401839911552" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-147)
148. 1/35681192317648997026501128052080367982304" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-148)
149. 1/71362384635297994053002256104160735964608" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-149)
150. 1/142724769270595988106004512208321471929216" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-150)
151. 1/285449538541191976212009024416642943858432" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-151)
152. 1/570899077082383952424018048833285887716864" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-152)
153. 1/114179815416476790484803609766651775543328" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-153)
154. 1/228359630832953580969607219533303551086656" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-154)
155. 1/456719261665907161939214439066607102173312" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-155)
156. 1/913438523331814323878428878133214204346624" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-156)
157. 1/1826877046663628647756857756266284008693248" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-157)
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159. 1/7307508186654514591027431025065136034772992" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-159)
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168. 1/374144419156711147060604468483334961780361312" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-168)
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171. 1/299315535325368917648483574786667974224288496" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-171)
172. 1/598631070650737835296967149573335948448576992" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-172)
173. 1/1197262141301475670593934291146671888897153984" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-173)
174. 1/2394524282602951341187868582293343777794307968" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-174)
175. 1/4789048565205902682375737164586687555588615936" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-175)
176. 1/9578097130411805364751474329173375111177231872" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-176)
177. 1/1915619426082361072950294865834675022235443744" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-177)
178. 1/3831238852164722145900589731669350044470887488" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-178)
179. 1/7662477704329444291801179463338700088941774976" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-179)
180. 1/15324955408658888583602358926677400177883549952" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-180)
181. 1/30649910817317777167204717853354800355767099904" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-181)
182. 1/61299821634635554334409435706709600711534199808" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-182)
183. 1/122599643269271108668818871413419201422683999616" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-183)
184. 1/245199286538542217337637742826838402845367999232" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-184)
185. 1/490398573077084434675275485653676805690735998464" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-185)
186. 1/980797146154168869350550971307353611381471996928" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-186)
187. 1/1961594292288337738701101942614707222762943993856" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-187)
188. 1/3923188584576675477402203885229414455525887987712" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-188)
189. 1/7846377169153350954804407770458828911051775975424" = 1' (ALL LINE TYPES) (SEE DETAIL SHEET 1556-189)
190. 1/156927

E. 1556

E. 1556

WAYNE MEMORIAL DRIVE-N.C. RTE. 1556

VARIABLE WIDTH RIGHT-OF-WAY
 STRAIGHTENED EASEMENT

TOMMY'S ROAD-N.C. RTE. 157
VARIABLE WIDTH RIGHT-OF-WAY
 APPROX. 100'0" WIDE R/W
 100'0" (100'0" x 100'0")

[illegible][illegible]

NOTE TO CONTRACTOR:

16" WIDE SOD STRIP IS REQUIRED BEHIND ALL CONCRETE CURBS/BUFFERS.
WHERE TURF GRASS WILL BE ESTABLISHED ADJACENT TO CONCRETE
CURBS/BUFFERS, EITHER A 16" OR 24" (DEPENDENT ON AVAILABILITY) WIDE SOD
STRIP IS REQUIRED.

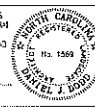
ALERT TO CONTRACTOR:

1. THE SITEWORK FOR THE WAL-MART PORTION OF THIS PROJECT SHALL MEET OR EXCEED THE "WAL-MART STANDARD SITEWORK SPECIFICATIONS."
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
3. WHEN PROPOSED SPECIES ARE UNAVAILABLE, PLANT SUBSTITUTIONS MAY BE CONSIDERED WITH APPROVAL BY THE OWNER AND/OR LANDSCAPE ARCHITECT AS LONG AS PROPOSED MATERIAL IS TRUE TO PLANTING INTENT AND MEETS CODE REQUIREMENTS.

ALERT TO CONTRACTOR:

ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (HARDWARE & FINAL UTILITY & FINAL GRASSING) BY THE MILESTONE DATE ON PROJECT DOCUMENTS. OUTLET AREA TO BE IN PLACE BY JOB FINISHES AND STORAGE AREA TO BE COMING BY MILESTONE DATE FOR THE OUTLET. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLET CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLET TO PROVIDE FINAL DOCUMENTS AND FINISH PAVING BY STATE LOCAL REQUIREMENTS FOR SPECIFIC CITIES.

ADULTERATE PRODUCTION IS NOT PERMITTED ON THIS PROJECT DUE TO ENVIRONMENTAL CONCERNS THAT DO NOT WARRANT THE INSTALLATION OF A WATERING SYSTEM FOR PLANT ESTABLISHMENT AND SURVIVAL.



UNUSUAL PROJECT SITES/ SE

**THIS PLAN TO BE UTILIZED FOR
LANDSCAPE PURPOSES ONLY**

ALL LANDSCAPING SHALL BE MAINTAINED IN ACCORDANCE WITH SECTION 6.3.8 OF THE UDO



LANDSCAPE PLAN



BOHLER

ENGINEERING

LEVEL & CONSULTING ENGINEERING

• CONSTRUCTION •

• SURVEYING •

• DESIGN •

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Seattle, WA 98125
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Fax: (206) 761-1001

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Seattle, WA 98125
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Fax: (206) 761-1001

REVISIONS			
REV	DATE	COMMENT	BY

BOHLER
ENGINEERING

100 WEST HILL STREET, SUITE 101
CHARLOTTE, NORTH CAROLINA 28208

Phone: (980) 272-3400
Fax: (980) 272-3471

www.BohlerEngineering.com

ISSUED FOR MUNICIPAL & AGENCY
REVIEW & APPROVAL



LANDSCAPE PLAN

PROPOSED NEIGHBORHOOD MARKET #7340-00
WAYNE MEMORIAL DRIVE & TOMMY'S ROAD
CITY OF GOLDSBORO, WAYNE COUNTY, NC

WALMART STORES, EAST, L.P.
BENTONVILLE, AR

Walmart



CALL BEFORE YOU DIG!
1-800-632-1349
N.C. ONE-CALL CENTER
IT'S THE LAW

PROJECT NO. 43
PAID BY
CHECKED BY
DATE
SALE
NOID.

SHEET

C-7

18 OF 25

18 OF 25

CITY OF GOLDSBORO

AGENDA MEMORANDUM

MARCH 3, 2014 COUNCIL MEETING

SUBJECT: Site and Landscape Plan Revision – Rouse Brothers, Inc.
(Relocation of Wesleyan College)

BACKGROUND: The property is located on the northwest corner of North
Park Drive and Parkway Drive.

The site was most recently occupied by R. N. Rouse but has
been vacant for more than six months.

Frontage: 300 ft. (North Park Drive)
350 ft. (Parkway Drive)

Area: 3.316 Acres

Zoning: Office and Institutional-1

DISCUSSION: The applicant proposes the relocation of Wesleyan College to
the site. No new construction would take place; however, the
existing building will be renovated to house eleven (11)
classrooms, offices and restrooms. Hours of operation would
be from 10:00 a. m. to 10:00 p. m., Monday through Friday.

Based on 11 classrooms, a total of 77 parking spaces are
required. There are currently only 43 parking spaces
available with 10 spaces at the front of the building and 33
spaces at the rear. The applicant has received contracts with
the Family Y to the north and with Drs. Hamm and Brantley
across Parkway Drive to the east to allow the use of 35 spaces
and 20 spaces, respectively.

The developer anticipates that the 35 parking spaces would
be available at the Family Y during the daytime only and that
the 20 spaces across Parkway Drive would become available
after 5:00 p. m. when the offices at that location are closed.
During evening classes, it is anticipated that the required 77
parking spaces will not be necessary and that the 43 spaces
on the site along with the 20 spaces to be provided across the
street should be sufficient. If it is found that additional
parking is necessary, the matter can be brought back before
the Planning Commission and Council for review.

The site plan indicates that the applicant will install a total of 15 Autumn Fantasy Maple trees will be installed to meet the City’s street tree requirement.

Existing vegetation provides the required 5 ft. wide landscape buffer to the north and the 20 ft. wide landscape buffer required to the west.

Additional existing trees and shrubs are provided throughout the site and interior concrete walkways provide access to the building from both parking lots.

One existing curb cut from Parkway Drive will provide access to both parking lots.

The Planning Commission, at their meeting held on February 24, 2014, expressed their concerns regarding the parking situation as they are aware of existing problems associated with space at the Family Y. In addition, the office across the street now has one unit that is currently vacant, so it is currently unknown how many parking spaces will be necessary for that space. Therefore, the Planning Commission recommended approval of the revised site and landscape plans subject to provision of required paved parking on the site within one year.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and approve the revised site and landscape plans subject to provision of required paved parking on the site within one year.

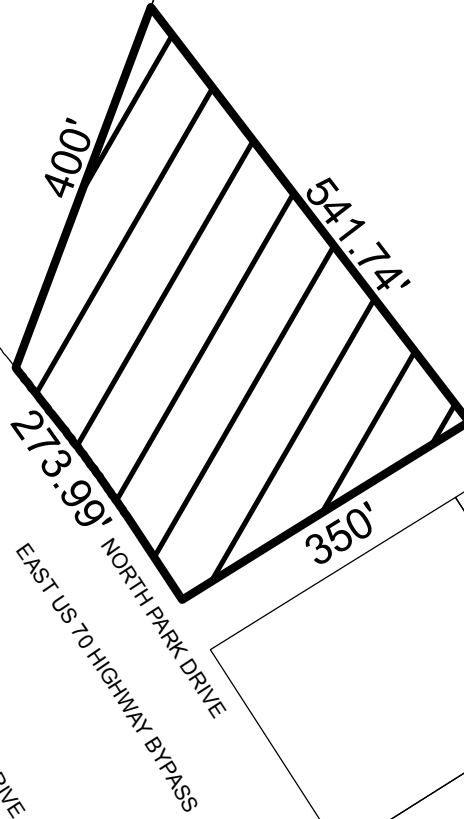
Date: _____
Planning Director

Date: _____
City Manager

ssj

SITE PLAN

ROUSE BROTHERS



The data represented on this map has been compiled by the best methods available. Accuracy is contingent upon the source information as compiled by various agencies and departments both internal and external to the City of Goldsboro, NC. Users of the data represented on the map are hereby notified that the primary information sources should be consulted for verification of the information contained herein. The City of Goldsboro and the companies contracted to develop these data assume no legal responsibility for the accuracy contained on this map. It is strictly forbidden to sell or reproduce these maps or data for any reason without the written consent of the City of Goldsboro.

200 100 0 200 Feet



THIS PLAN IS PREPARED FROM AN AERIAL PHOTO.
NO LOCATION SURVEY WAS PERFORMED.

THE FARMY T
PROPERTY
DEED BOOK 1255 PAGE 527
LOT NO. 5
P. L. C. SUBDIVISION
SECTION TWO
PLAT CANNOT BE SUEC 151 - LOT NO. 5
ZONED O & I-1

SITE DATA
PROPERTY ZONED OFFICE AND INSTITUTIONAL DISTRICT-1 (O&I-1)
(CITY OF CHARLOTTE)
MINIMUM SETBACK REQUIREMENTS
FRONT = 35 FEET
SIDE = 25 FEET
REAR = 10 FEET

ALL MINIMUM REQUIREMENTS
PUBLIC AND PRIVATE SCHOOLS IN THE OFFICE AND
INSTITUTIONAL-1 DISTRICT SHALL CONFORM WITH THE MINIMUM
SPACE AND AREA REQUIREMENTS AS REQUIRED BY THE STATE OF
NORTH CAROLINA.
MECHANICAL EQUIPMENT - TO THE GREATEST EXTENT POSSIBLE,
MECHANICAL EQUIPMENT SHALL BE LOCATED WITHIN THE BUILDING.
EXTERNAL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM
PUBLIC VIEW AND FINISHED TO MATCH THE COLORS OF THE
ADJACENT BUILDING MATERIALS.

PARKING - ALL PARKING SHALL BE IN ACCORDANCE WITH
SECTION 8.1 (OFF-STREET PARKING, LOADING AND STAGING
STANDARDS).
STORAGE - ALL STORAGE SHALL BE IN ACCORDANCE WITH
SECTION 8.4 (STORAGE STANDARDS).

UTILITIES - ALL UTILITY LINES SHALL BE UNDERGROUND.
LIGHTING - ALL LIGHTING SHALL BE IN ACCORDANCE WITH
SECTION 8.3 (COMMERCIAL LIGHTING DESIGN STANDARDS).

LANDSCAPING - A LANDSCAPING PLAN SHALL BE SUBMITTED
THAT MEETS ALL THE REQUIREMENTS OF SECTION 8.5
(LANDSCAPING, SCREENING, AND BUFFERING STANDARDS).

PEDESTRIAN FACILITIES - INTERIOR SIDEWALKS, WITHIN THE
BOUNDARIES OF THE DEVELOPMENT, SHALL CONNECT THE
BUILDING TO OTHER DESTINATIONS, SUCH AS, BUT NOT LIMITED
TO, PARKING, ADJACENT STREETS, ADJACENT SIDEWALKS,
ADJACENT DEVELOPMENTS, OR OTHER PUBLIC
AREAS. WHERE APPROPRIATE PEDESTRIAN CONNECTIONS CAN
REASONABLY BE ACCOMPLISHED, EXTERIOR SIDEWALKS, IN
ADDITION TO ANY ON THE PERIMETER OF THE DEVELOPMENT,
SHALL BE PROVIDED ALONG AND ADJACENT PUBLIC STREET OR
PRIVATE STREET.

PERMITS - PERMITS REQUIRED: DEED BOOK 3783 PAGE 844 &
PLAT CANNOT BE SUEC 170-48 - LOT 1
TAX PARCEL: 06 3019 68 000
TOTAL ACREAGE = 144,657 SQUARE FEET OR 3,316 ACRES
TOTAL DISTURBED AREA = NONE

TOTAL NUMBER OF CLASSROOMS = 31
HOURS OF OPERATION: 10:00 A.M. TO 10:00 P.M.
MONDAY THRU FRIDAY
APPROXIMATELY 5 DELIVERIES PER MONTH BY VAN
REFUSE COLLECTION: BI-WEEKLY BY PRIVATE CARTON
DUMPSTER SERVICE WASTE INDUSTRIES.

PARKING
COLLECTIBLES - 7 SPACES PER EACH CLASSROOM
TOTAL NUMBER OF PARKING SPACES PROVIDED
11 CLASSROOMS / 7 SPACES = 77 SPACES
TOTAL NUMBER OF PARKING SPACES PROVIDED
41 SPACES (V & H)
25 LANDSCAPED SPACES (V & H)
45 TOTAL PARKING SPACES

PROPOSED 8' PROTECTED STREET YARD BUFFER
15' MINIMUM FRONT YARD
MINIMUM HEIGHT AT PLANTING 10 FEET
MINIMUM 2" CALIBER

8' PROTECTED STREET YARD BUFFER
A PROTECTED STREET YARD IS REQUIRED ALONG EACH PROPERTY
FRONTAGE THAT ADJUTS A PUBLIC OR PRIVATE STREET. THE YARD
SHALL BE A MINIMUM EIGHT FEET IN DEPTH, MEASURED PERPENDICULAR
FROM THE FRONT OF ANY PROPERTY LINE AND EXTEND THE LENGTH OF
THE LINEAR FRONTAGE OF THE PROPERTY LINE.

STREET TREE LANDSCAPING REQUIRED - STREET TREES SHALL BE
REQUIRED ALONG EACH PROPERTY FRONTAGE THAT ADJUTS A PRIVATE
OR PUBLIC STREET.
LARGE TREES, WHERE FEASIBLE, SHALL BE PLANTED AT A RATE OF
ONE TREE EVERY FORTY FEET OF LINEAR STREET FRONTAGE, WITH A
MINIMUM OF ONE TREE ON ANY STREET FRONTAGE LESS THAN FORTY
FEET.

IN THE CASE OF CONFLICT WITH UTILITY LINES, OVERHEAD OR
UNDERGROUND, OR OTHER PROHIBITING FACTORS, TWO SMALL TREES
SHALL BE PLANTED FOR EVERY REQUIRED LARGE TREE OR A
COMBINATION OF LARGE AND SMALL TREES WHERE AT LEAST ONE HALF
OF THE LARGE TREE REQUIREMENT IS INSTALLED AND ONE SMALL TREE
IS INSTALLED FOR EVERY REQUIRED LARGE TREE REQUIRED. (A
MINIMUM OF AT LEAST TWO LARGE TREES IS REQUIRED).

STREET TREE PLANTING - FOR SECURITY, ACCESSIBILITY AND VISUAL
EXTENSION, TREE LINES SHALL BE PLANTED UP TO SEVEN FEET IN
THE SECOND YEAR AFTER INSTALLATION.
**STREET TREES SHALL BE PLANTED AT A RATE OF ONE TREE FOR EVERY
FORTY FEET OF LINEAR STREET FRONTAGE.**

I (we) hereby certify that I am (we are) the owner(s) of
the property shown and described herein and that I (we)
herby approve this development plan. I (we) further
certify that all exterior improvements, including but not
limited to parking and landscaping, as shown on this plan
will be installed in accordance with this plan.
This plan approval shall remain valid for one year from
date of approval, unless the indicated conditional use
permit expires, in which case, the site plan shall expire
also. Site plans approved in connection with a related
right shall be approved for a period not to exceed the
shorter.

Owner(s) _____ Date _____



NO.	REVISION	DATE

B. R. KORNEGAY, INC.
LAND SURVEYING - ENGINEERING - PLANNING
License Number: E-1054
300 East Walnut Street
Goldensmith, N.C. 27030
www.kornegayinc.com (919) 735-5006 Fax (919) 580-9303



SCALE: 1" = 20'

1101 PARKWAY DRIVE
SITE PLAN & LANDSCAPE PLAN
STONE CREEK TOWNSHIP
WAYNE COUNTY, N.C.

* PRELIMINARY PLAT - NOT FOR RECORDATION, CONVEYANCES OR SALES *

DRAWN BY: TSB
DESIGNED BY: J.K.
DATE: 2-3-2014
SCALE: 1" = 20'

ROUSE BROTHERS, INC.
306 ST. ANDREWS LANE, CARY, NORTH CAROLINA 27511
CONTACT: RAY ROUSE 919-801-5133

SHEET: 1
OF: 1
WORK ORDER: 1400338
CADD DATE: 140039

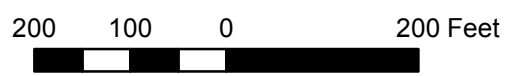
PROPERTY INVESTMENT COMPANY, INC., STONEY CREEK TOWNSHIP

SITE PLAN

ROUSE BROTHERS



The data represented on this map has been compiled by the best methods available. Accuracy is contingent upon the source information as compiled by various agencies and departments both internal and external to the City of Goldsboro, NC. Users of the data represented on the map are hereby notified that the primary information sources should be consulted for verification of the information contained herein. The City of Goldsboro and the companies contracted to develop these data assume no legal responsibility for the accuracy contained on this map. It is strictly forbidden to sell or reproduce these maps or data for any reason without the written consent of the City of Goldsboro.



CITY OF GOLDSBORO

AGENDA MEMORANDUM

MARCH 3, 2014 COUNCIL MEETING

SUBJECT: Site, Landscape and Building Elevation Plans – State Employees' Credit Union

BACKGROUND: The property is located on the north side of Cashwell Drive between Berkeley Boulevard and Boxwood Lane. The site was formerly occupied by a theater and is directly across Cashwell Drive from the Post Office.

Frontage: 314.65 ft.
Depth: 610 ft. (average)
Area: 3.52 Acres
Zoning: General Business

The site will be served by City water and sewer.

DISCUSSION: The submitted site plan indicates the construction of a 7,758 sq. ft. building.

Based on one parking space per 350 sq. ft. of gross floor area, a total of 22 parking spaces are required for the use. The site plan indicates that a total of 69 parking spaces (including 3 handicapped spaces) will be provided. Seven of those spaces will be provided at the rear of the building for use by employees.

Access to the site will be provided by two existing curb cuts on Cashwell Drive. Both of these curb cuts will provide for ingress and egress.

A canopy will be provided for five lanes of drive-thru traffic on the west side of the building with one lane being designated for ATM traffic only.

Extensive landscaping has been proposed throughout the site including a total of five October Glory Maple trees to serve as street trees with understory trees and shrubs planted throughout end aisles and to serve as the vehicular surface buffer. Foundation plantings of shrubs and day lilies

are shown and additional Maple trees will be interspersed throughout larger end aisles and sodded areas. A large area at the rear of the site will not be developed and will be seeded with grass.

A Class C (20 ft. wide) buffer is required at the rear of the site which abuts Kirkwood Retirement Village. There are existing trees along the rear property line and the developer plans to install an additional 15 ft. of buffer material to meet the 20 ft. wide buffer requirement.

Property to the east abuts land which is partially developed for Cashwell Mews Townhomes. Along that portion of the eastern property line, a Class C (20 ft. wide) buffer is required. An existing wooded area along the remainder of that property line will be retained and additional plant material installed which will visually screen the view of the site should the rear of the lot be developed residentially in the future.

A Class A (10 ft. wide) buffer is required and shown on the western property line which is currently vacant and also zoned General Business.

While interconnectivity has not been shown on the plans, the City will require that a 20 ft. wide easement be retained to allow for a possible connection to the west when development occurs.

Five ft. wide sidewalks are shown along the street frontage. Interior walkways will provide access to the building from the parking areas.

A lighting plan has been submitted and reviewed by the Planning staff.

Building elevation plans indicate a masonry exterior with reinforced concrete columns and windows with brick arch details which will break up the mass of the building. A pitched entranceway will include a wall sign over the glass doors at the front of the building. A standing seam metal roof will cover the entire structure.

The Planning Commission, at their meeting on February 24, 2014, recommended approval of the site, landscape and building elevation plans as submitted.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and approve the site, landscape and building elevation plans as submitted.

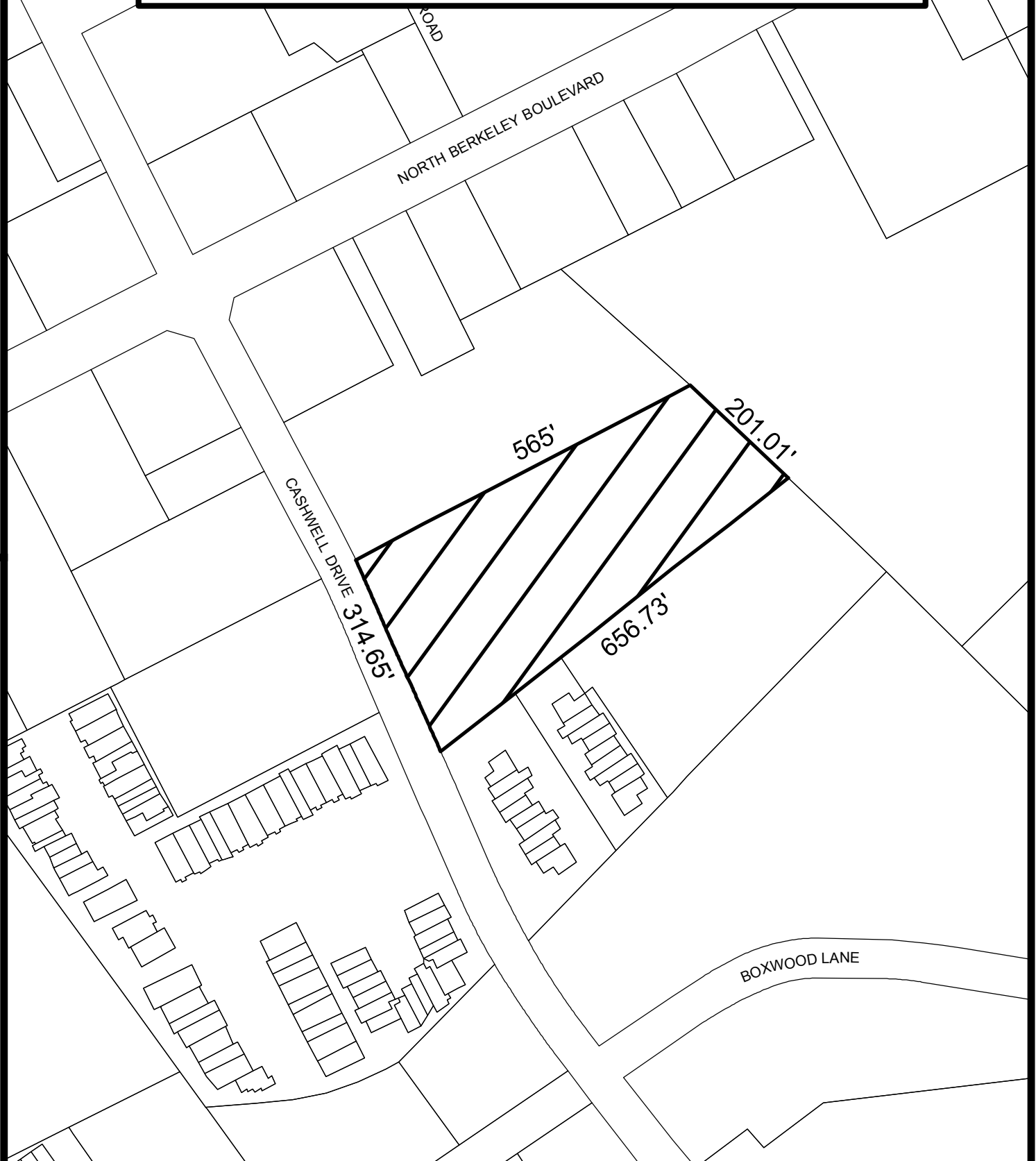
Date: _____
_____ Planning Director

Date: _____
_____ City Manager

ssj

SITE PLAN

STATE EMPLOYEES CREDIT UNION



The data represented on this map has been compiled by the best methods available. Accuracy is contingent upon the source information as compiled by various agencies and departments both internal and external to the City of Goldsboro, NC. Users of the data represented on the map are hereby notified that the primary information sources should be consulted for verification of the information contained herein. The City of Goldsboro and the companies contracted to develop these data assume no legal responsibility for the accuracy contained on this map. It is strictly forbidden to sell or reproduce these maps or data for any reason without the written consent of the City of Goldsboro.

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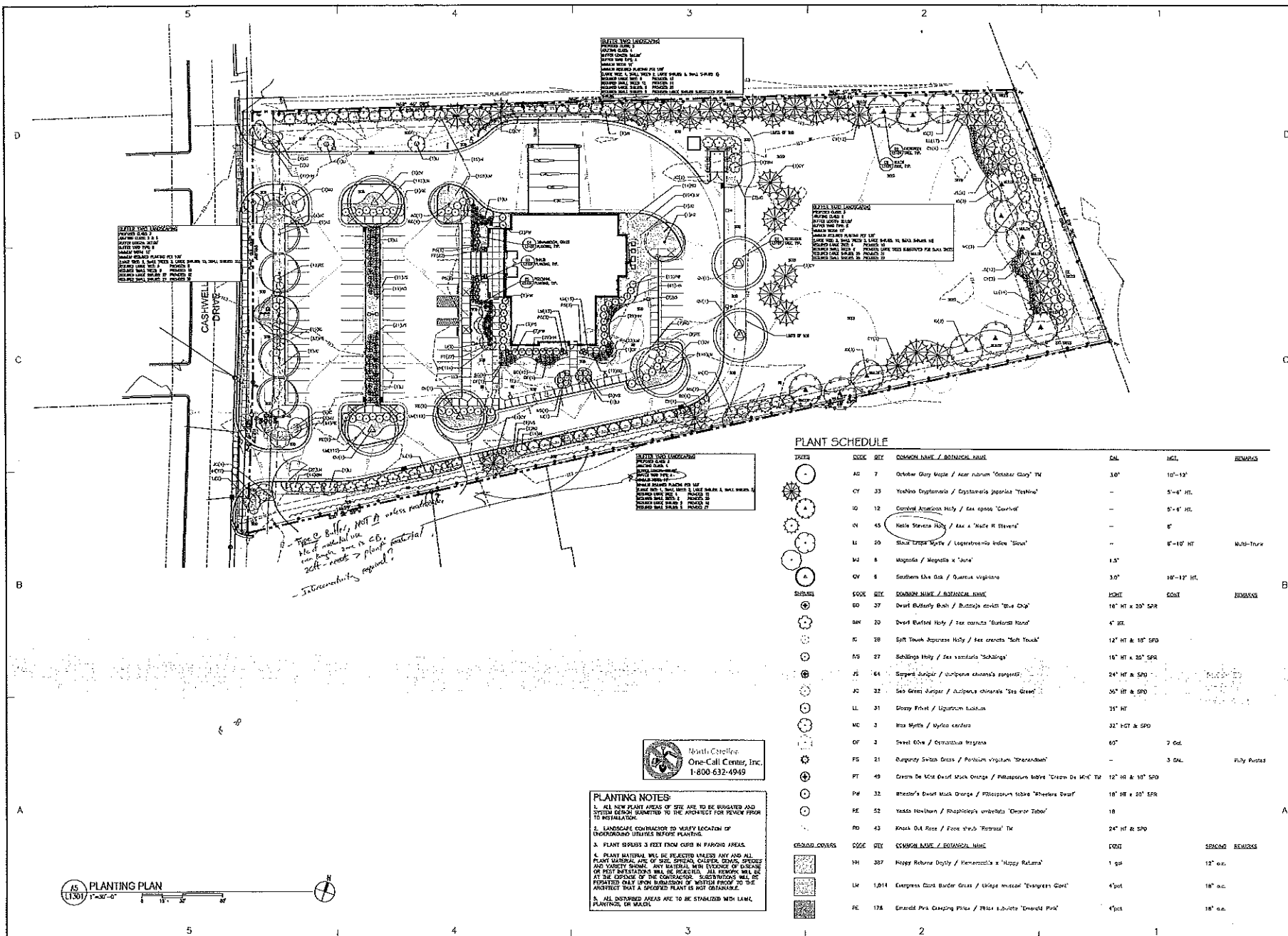
SITE PLAN STATE EMPLOYEES CREDIT UNION



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DATE	2/10/14
BY	DRK
CHECKED	FPD
SCALE	1" = 30'
PROJECT	PLANTING PLAN
NO.	L1301-GOLD.DWG

CITY OF GOLDSBORO

AGENDA MEMORANDUM

MARCH 3, 2014 COUNCIL MEETING

SUBJECT: Site, Landscape and Building Elevation Plans – Dick’s Sporting Goods and PetSmart

BACKGROUND: The property is located adjacent to Berkeley Mall on the south between Cashwell Drive and Mall Road.

Frontage: 247.48 ft. (on Eastgate Drive)
769.09 ft. (on Mall Road)
Area: 5.923 Acres
Zoning: Shopping Center

DISCUSSION: The submitted site plan indicates construction of a 55,818 sq. ft. building which will house Dick’s Sporting Goods (43,818 sq. ft.) and PetSmart (12,000 sq. ft.).

Access to the site will be provided from a curb cut on Eastgate Drive. Two other access points are shown on Mall Road including one for trash collection and delivery services.

Hours of Operation: 9:00 a. m. to 9:30 p. m. (Mon-Sat)
10:00 a. m. to 7:00 p. m. (Sunday)

Based on one parking space per 300 sq. ft. of gross floor area, a total of 186 parking spaces are required for both of the businesses. A total of 279 parking spaces are shown which includes eight handicapped spaces.

Extensive landscaping is proposed throughout the site including Autumn Fantasy Maple trees to serve as street trees along Eastgate Drive and Mall Road.

Low-growing evergreen shrubs are shown to serve as the vehicular surface buffer along Mall Road and additional understory trees and shrubs are to be dispersed throughout end aisles within the parking area.

Required ten ft. wide (Type A) buffers are shown along the southern and western property lines.

New interior sidewalks will be provided which connect the building to the parking areas. In addition, a new 5 ft. wide sidewalk will be provided along both Eastgate Drive and Mall Road.

Stormwater calculations have been submitted and are currently under review by the Engineering Department.

Lighting plans will be reviewed and approved by the Planning staff.

Building elevation plans indicate a masonry building with typical storefronts. Staff is working with the developer in order to insure that the mass of open walls is broken up with architectural details.

The following modifications have been requested in conjunction with the site plan.

1. Modification of 50 ft. perimeter setback requirement along the property line adjoining Berkeley Mall to 45.85 ft.;
2. Modification of 50 ft. perimeter setback requirement along the interior side yard to 46.84 ft.; and
3. Modification to allow a panel sign to be placed on the existing Mall identification sign fronting on Berkeley Boulevard in addition to the 80 sq. ft., 25 ft. tall freestanding sign which is to be placed on the subject property.

The Planning Commission, at their meeting held on February 24, 2014 recommended approval of the site, landscape and building elevation plans with the requested modifications subject to approval of lighting, stormwater and building elevation plans by the staff.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and approve the site, landscape and building elevation plans with the following modifications:

1. Modification of 50 ft. perimeter setback requirement along the property line adjoining Berkeley Mall to 45.85 ft.;
2. Modification of 50 ft. perimeter setback requirement along the interior side yard to 46.84 ft.; and

3. Modification to allow a panel sign to be placed on the existing Mall identification sign fronting on Berkeley Boulevard in addition to the 80 sq. ft., 25 ft. tall freestanding sign which is to be placed on the subject property.

Approval would be subject to the Planning staff completing and approving lighting, stormwater and building elevation plans.

Date: _____

Planning Director

Date: _____

City Manager

ssj

SITE PLAN

DICK'S SPORTING GOODS & PETSMART



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SITE PLAN

DICK'S SPORTING GOODS & PETSMART

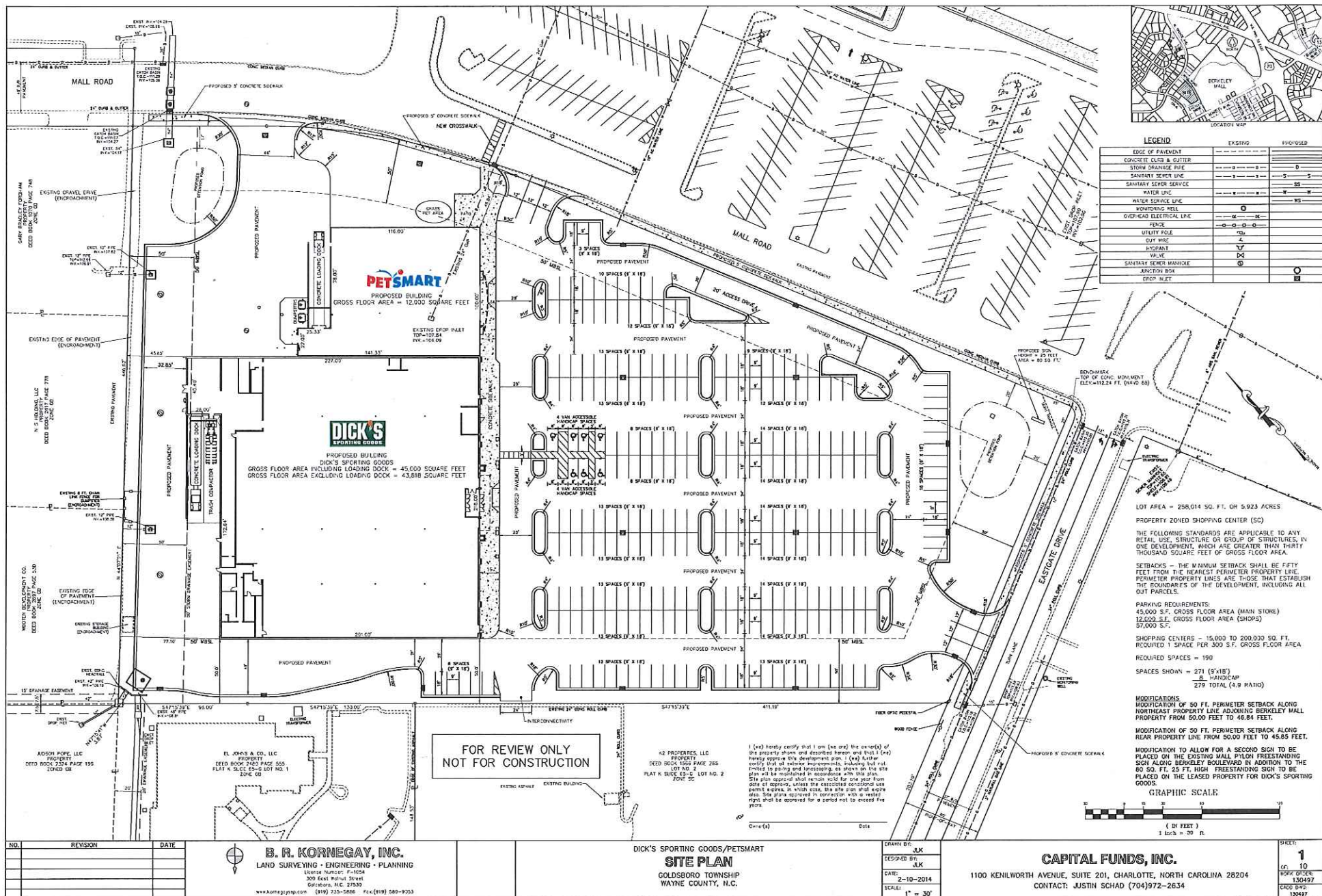


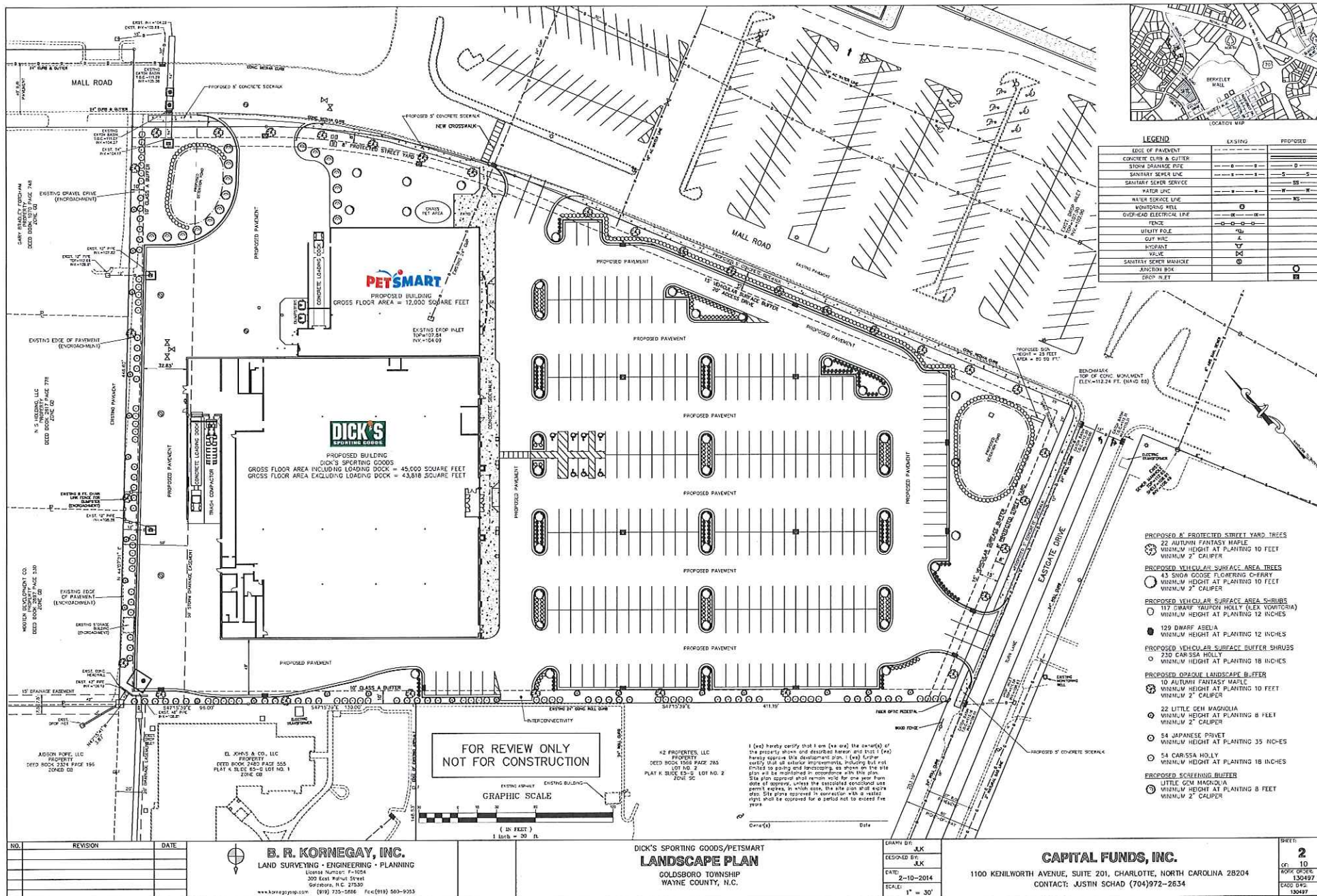
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TRP





CITY OF GOLDSBORO

AGENDA MEMORANDUM

MARCH 3, 2014 COUNCIL MEETING

SUBJECT: Site, Landscape and Building Elevation Plans - Lochstone

BACKGROUND The property is located on the west side of West Lockhaven Drive between Wayne Memorial Drive and Norwood Avenue

On March 4, 2013, the Council approved a zoning change for the property from O&I-1 to R-6 Residential Conditional District to allow a 72-unit multi-family apartment facility. Development plans were required to be approved separately.

On May 6, 2013, the Council approved site, landscape and building elevation plans which included three, three-story buildings which would contain a total of 72 multi-family rental units. A community building was shown along with an adjacent playground and covered picnic area and gazebo located within 2.1 acres of open space. A total of 156 parking spaces were required and shown on the plans.

In addition to a six ft. tall white vinyl fence along the northern and western property lines, the developer proposed to install substantial plantings on both sides and within parking end aisles. Additional plant material was to be installed along the driveways accessing Lockhaven Drive and Norwood Avenue.

Building elevation plans indicated a partial masonry façade which will meet City standards.

The approved plans showed points of access to both Lockhaven Drive as well as Norwood Avenue.

DISCUSSION: The original developer has was unable to continue with the project and the new developer has proposed a number of revisions to the approved site plan.

A total of three, three-story building are still proposed, however, these buildings would contain a total of 84 multi-family rental units.

Although the overall lot size has not changed, the orientation and access points have been revised. The new site plan changes the access to West Lockhaven Drive by extending a publicly-dedicated road through vacant land to the east which would provide access to Stevens Memorial Place which would then provide access to West Lockhaven Drive.

Orientation of driveways has changed slightly for three of the building and access would continue to be provided to Norwood Avenue to the west.

A total of 169 parking spaces will be provided (including ten handicapped spaces) to serve the proposed 84 units.

Stormwater structures are to be located within open areas and a community building, playground and picnic area continue to be proposed. Substantial plantings which will meet the City's landscape requirements have been included on the revised site plan.

Since the required subdivision plat has not been prepared or approved which would legally dedicate the roadway extending to Stevens Memorial Place, staff wants to insure that any site plan approval would be subject to submission and approval of a subdivision plat which would dedicate the right-of-way for access to the east. No building permits would be issued until the subdivision plat is approved and recorded and construction begins on the new right-of-way.

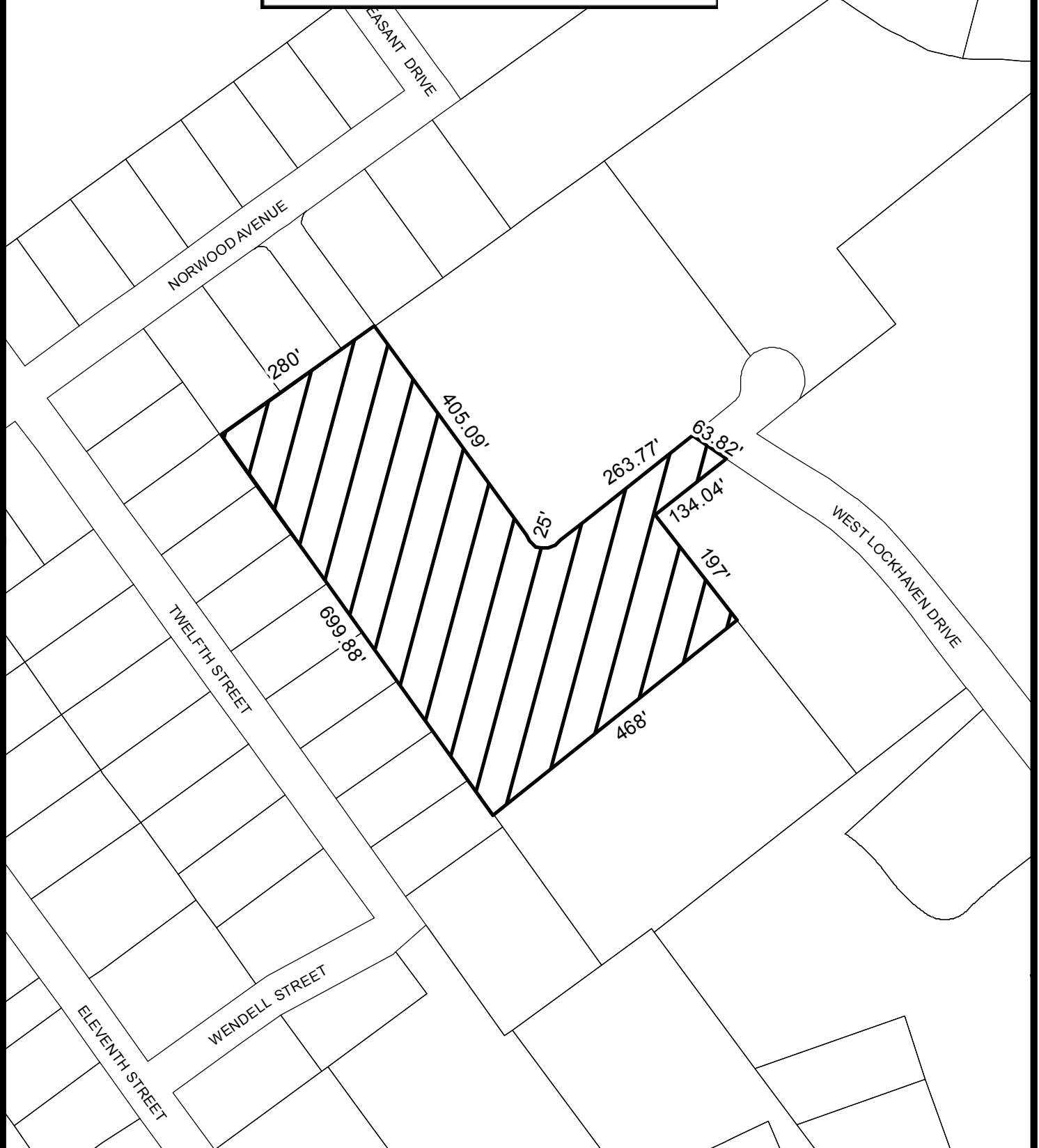
The Planning Commission, at their meeting held on February 24, 2014, recommended approval of the site, landscape and building elevation plans subject to the approval of a final subdivision plat dedicating the necessary right-of-way to provide access from the east. Construction of this right-of-way would have to be completed prior to issuance of a Certificate of Occupancy for any of the buildings within this development.

RECOMMENDATION: By motion, accept the recommendation of the Planning Commission and approved the revised site, landscape and building elevation plans subject to submission, approval and recording of a final subdivision plat dedicating the necessary right-of-way which would provide access from the development to Stevens Memorial Place. A Certificate of Occupancy for the development will not be granted until the new roadway is completed and approved by the City.

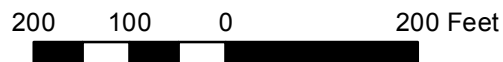
Date: _____
Planning Director

Date: _____
City Manager

SITE PLAN LOCHSTONE



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SITE PLAN LOCHSTONE

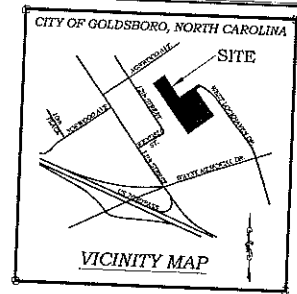
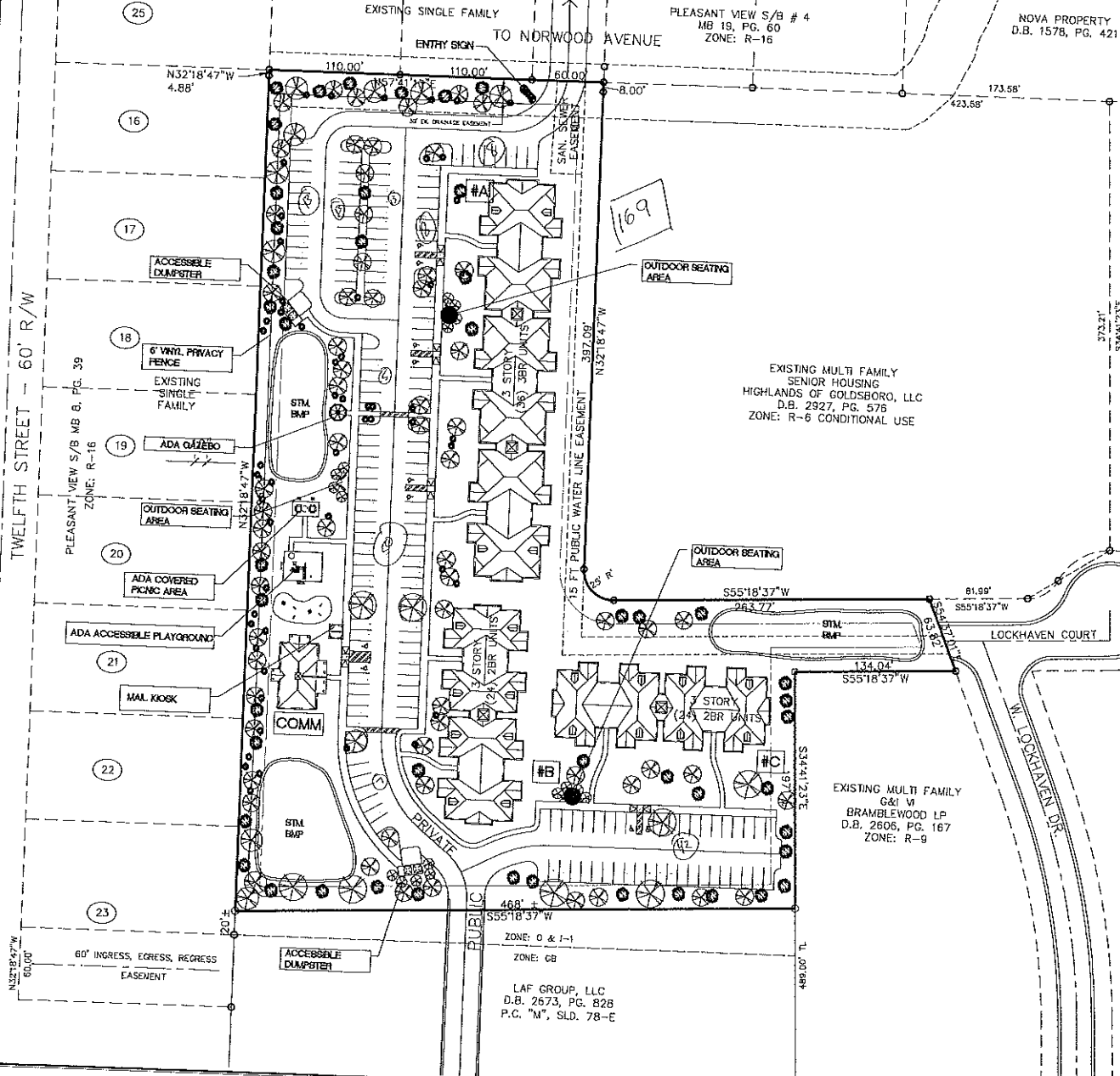


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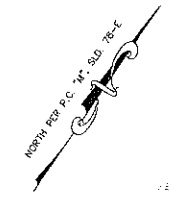


TWELFTH STREET - 60' R/W



SITE DATA:

STREET ADDRESS: WEST LOCKHAVEN DRIVE, GOLDSBORO, NC 27534
ZONING: PROPOSED R-6 RESIDENTIAL - CONDITIONAL USE
OVERLAY DISTRICT: NOT LOCATED WITHIN ANY OVERLAY DISTRICT
TRACT ACREAGE: 5.7 ± AC
TAX PARCEL ID#: 3600821151
DEED REFERENCE: DEED BOOK 2673, PAGE 828
EXISTING USE: FALLOW FIELD
FLOODPLAIN: ZONE X - AREA DETERMINED TO BE OUTSIDE
0.2% ANNUAL CHANCE FLOODPLAIN FIRM MAP
NUMBER 3720300000J, EFFECTIVE DECEMBER 2, 2005
BUILDING: THREE (3) - THREE STORY, MULTIFAMILY FACILITY
TOTAL = 84 UNITS
PARKING: TWO SPACES PER UNIT +
0.5 SPACES PER ROOM OVER TWO
REFUGE PICKUP: DUMPSTER WITH ENCLOSURE
HVAC UNITS: EXTERIOR HVAC UNITS ARE
SCREENED FROM VIEW



SCALE: 1" = 40'

PRELIMINARY



**JONES CONSULTING
ENGINEERS, P.A.**
Carolina Commerce Center
2815 North William Street
Suite B
Goldsboro, NC 27530
919.221.5222 LIC #: C-3065
bjones@jce-nc.com
JCE PROJECT NO.: 14003
DATE: FEBRUARY 8, 2014

PRELIMINARY
NOT FOR CONSTRUCTION
EXHIBIT DRAWING ONLY

**LOCHSTONE
GOLDSBORO, NC
BY PENDERGRAPH CO.**

EX1
EXHIBIT PLAN

CITY OF GOLDSBORO
AGENDA MEMORANDUM
MARCH 3, 2014 COUNCIL MEETING

- SUBJECT:** Piedmont Natural Gas – Relocation of Natural Gas Line for Berkeley Boulevard Widening Project
- BACKGROUND:** In conjunction with the Berkeley Boulevard widening project, City staff requested Piedmont Natural Gas submit estimated costs required to relocate a major high pressure natural gas line that is in conflict with the widening and improvements on Berkeley Boulevard.
- Piedmont Natural Gas submitted an estimate based on costs of labor, survey/permitting, inspection, x-ray services, and materials. The total estimated cost submitted is \$91,510.00 (+/- 25 percent). The minimum cost shall not be less than \$73,208.00 and the maximum cost shall not exceed \$114,387.50.
- DISCUSSION:** We have reviewed the financing of this project with the Finance Director and determined that a budget ordinance is required for the relocation of the natural gas line owned by Piedmont Natural Gas on Berkeley Boulevard.
- RECOMMENDATION:** Recommend the City Council:
- (1) By motion, authorize the City Manager to execute an agreement with Piedmont Natural Gas for the relocation of the natural gas line on Berkeley Boulevard;
 - (2) Adopt the attached budget ordinance decreasing the fund balance of the general fund by \$114,387.50.

Date: 26 FEB 14
Guy M. Anderson, P. E., City Engineer

Date: _____

Scott A. Stevens, City Manager

ORDINANCE NO. 2014-

AN ORDINANCE AMENDING THE BUDGET ORDINANCE FOR THE
CITY OF GOLDSBORO FOR THE 2013-2014 FISCAL YEAR

WHEREAS, the City of Goldsboro needs to relocate a major natural gas line to accommodate the Berkeley Boulevard widening project; and

WHEREAS, Piedmont Natural Gas has estimated the cost to relocate this line not to exceed \$114,387.50; and

WHEREAS, since the funds were not appropriated in the operating budget for FY 2013-14, the City of Goldsboro needs to appropriate \$114,387.50 from the General Fund.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Goldsboro that the Budget Ordinance for the Fiscal Year 2013-14 be amended by:

1. Decreasing the Unassigned Fund Balance of the General Fund in the amount of \$114,387.50.
2. Establishing the line item entitled "Street Improvements" (11-4172-1600) in the Engineering Division of the General Fund in the amount of \$114,387.50.
3. This Ordinance shall be in full force and effect from and after the _____ day of _____ 2014.

Approved as to form only:

Reviewed by:

City Attorney

City Manager

CITY OF GOLDSBORO
AGENDA MEMORANDUM
MARCH 10, 2014 COUNCIL MEETING

SUBJECT: Adoption of Conceptual Master Plan: Mina Weil Park

BACKGROUND: The Conceptual Master Plans have been unanimously adopted by the RAC and are respectfully submitted to City Council.

DISCUSSION: The plans have been created via consensus building public processes at the direction of the RAC. Each plan provides a conceptual or schematic layout of facilities and amenities. From these plans, construction drawings can be developed. Additionally and most importantly, these plans enable the RAC and Park and Recreation Department to apply for grants to fund construction. Finally, the plans are not meant to be limiting but rather living documents that can adjust to changing needs.

RECOMMENDATION: Adopt the Conceptual Master Plans per the unanimous recommendation of the RAC.

Date: _____

Director of Parks and Recreation

Date: _____

City Manager

Mina Weil Park Conceptual Site Plan



CITY OF GOLDSBORO
AGENDA MEMORANDUM
MARCH 10, 2014 COUNCIL MEETING

SUBJECT: Adoption of Conceptual Master Plan: Herman Park

BACKGROUND: The Conceptual Master Plans have been unanimously adopted by the RAC and are respectfully submitted to City Council.

DISCUSSION: The plans have been created via consensus building public processes at the direction of the RAC. Each plan provides a conceptual or schematic layout of facilities and amenities. From these plans, construction drawings can be developed. Additionally and most importantly, these plans enable the RAC and Park and Recreation Department to apply for grants to fund construction. Finally, the plans are not meant to be limiting but rather living documents that can adjust to changing needs.

RECOMMENDATION: Adopt the Conceptual Master Plans per the unanimous recommendation of the RAC.

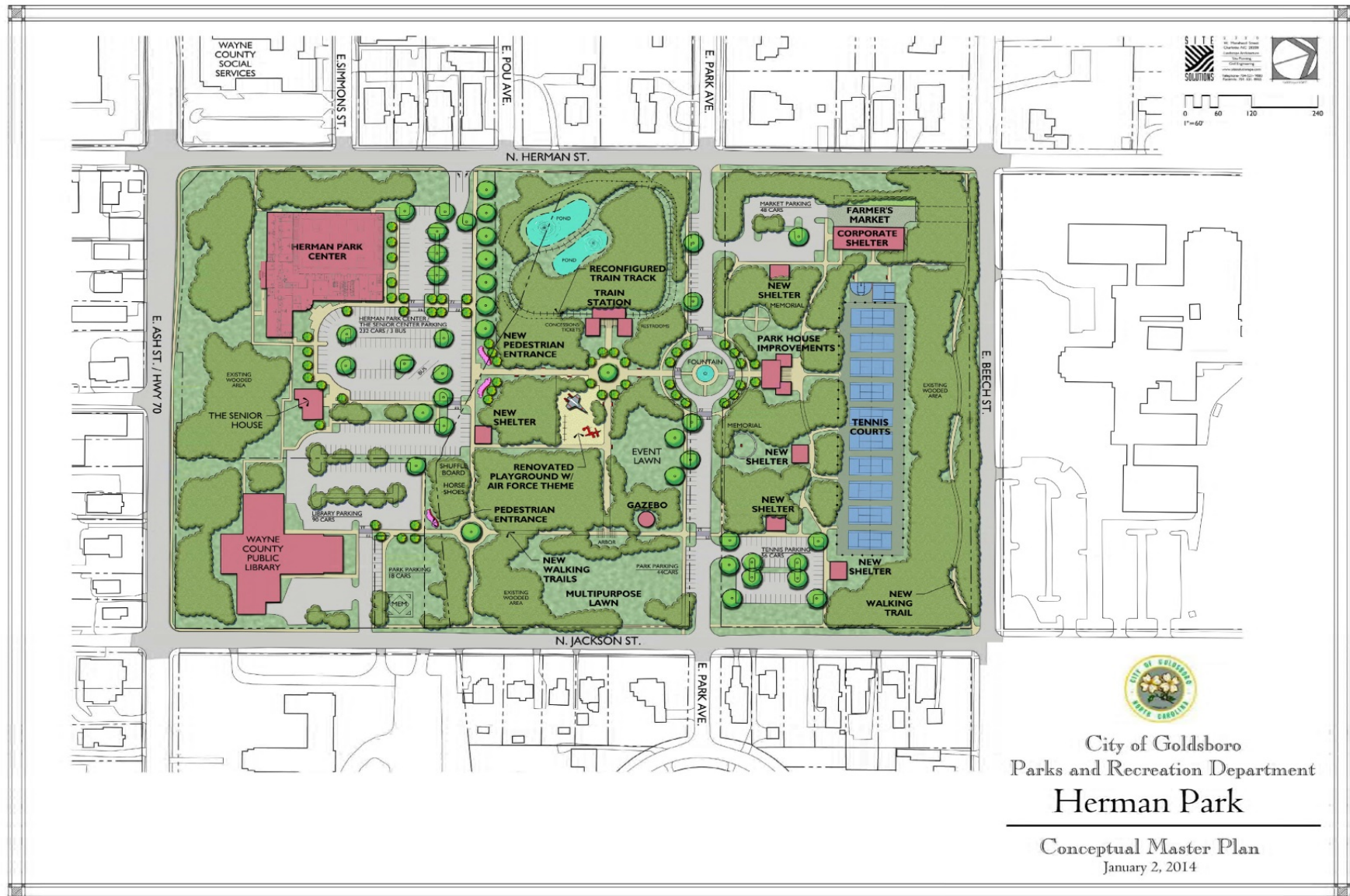
Date: _____

Director of Parks and Recreation

Date: _____

City Manager

Herman Park Conceptual Site Plan





City of Goldsboro

H.O. Drawer A
North Carolina
27533-9701

Office of the Mayor

PROCLAMATION

ROSEWOOD HIGH SCHOOL'S JROTC UNIT 31st ANNUAL MILITARY BALL

WHEREAS, JROTC is a service to our nation, in that it provides Cadets the motivation and skills to improve physical fitness; remain drug free; think critically and creatively; communicate effectively; work as a team member; graduate from high school; pursue meaningful careers and become successful citizens; and

WHEREAS, Rosewood High School's Army JROTC Unit has been recognized as a "Honor Unit with Distinction" by the Fourth Brigade at Fort Bragg Headquarters in Fayetteville, NC; and

WHEREAS, this is the highest honor that can be received in an JROTC unit, and was received at their annual inspection; and

WHEREAS, the RHS JROTC Unit focuses on education, supporting their school and the school's administration, supporting the City of Goldsboro and Wayne County by completing service projects such as; marching in the Veteran's Day, Christmas and Black History Month parades, volunteering at the Merci Center, and visiting local rest/nursing homes during the holidays; and

WHEREAS, RHS JROTC competes for drill and raider competitions throughout North Carolina to represent Rosewood High School and Wayne County; and

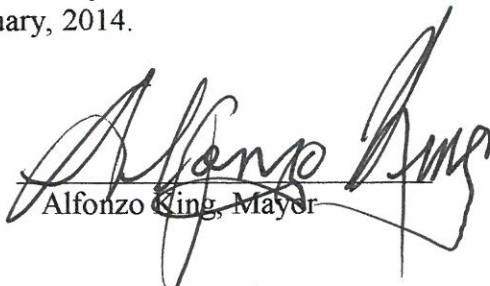
WHEREAS, RHS JROTC, loves what they do for the students of Rosewood High School and what they do for the community; and

WHEREAS, RHS JROTC is celebrating their 31st year of providing quality JROTC program leadership and training at Rosewood High School and the Wayne County School System and on March 1, 2014 will be holding their 31st Annual Military Ball.

NOW, THEREFORE, I, Alfonzo King, Mayor of the City of Goldsboro, North Carolina, do hereby commend and congratulate Rosewood High School's JROTC Unit for 31 years of leadership and service to Rosewood High School and Wayne County Schools.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Seal of the City of Goldsboro, North Carolina, this 17th day of February, 2014.




Alfonzo King, Mayor



City of Goldsboro

P.O. Drawer A
North Carolina
27533-9701

Office of the Mayor

PROCLAMATION

2014 Women in Construction Week National Association of Women in Construction (NAWIC)

WHEREAS, the Greater Greenville NC Chapter 335 has distinguished itself for twenty-four years as the voice of women in construction in the Greenville, Goldsboro and Kinston areas; and

WHEREAS, the work done by the Greater Greenville NC Chapter 335 has benefited Goldsboro, NC through community development and educational programs; and

WHEREAS, the Greater Greenville NC Chapter 335 has unceasingly promoted the employment and advance of women in the construction industry; and

WHEREAS, the construction community, represented by Greater Greenville NC Chapter 335, has been a driving force in fostering community development through renovation and beautification projects; promotion of skilled trades careers; and a positive vision of the future; and

WHEREAS, the Greater Greenville NC Chapter 335 has sought to achieve successful results for Goldsboro NC and surrounding areas in a cooperative spirit with other organizations;

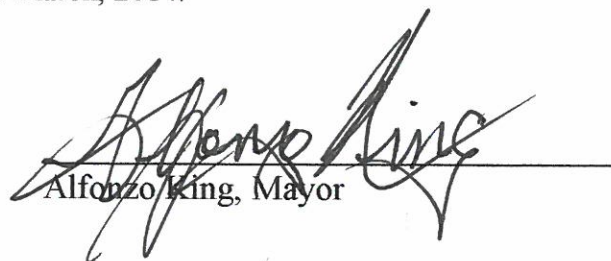
NOW THEREFORE, I, Mayor Alfonzo King, do hereby recognize the Greater Greenville NC Chapter 335 and its many dedicated volunteers for its steadfast work on behalf and support of women in construction, and do proudly proclaim the week of March 2-8, 2014 as

Women in Construction Week

and encourage our citizens to congratulate the organization on its many accomplishments.

IN WITNESS, WHEREOF, I have hereunto set my hand and affixed the Seal of the City of Goldsboro, North Carolina, this 3rd day of March, 2014.




Alfonzo King, Mayor

RESOLUTION NO. 2014-17

**RESOLUTION EXPRESSING APPRECIATION
FOR SERVICES RENDERED BY THOMAS L. WILLIAMS
AS AN EMPLOYEE OF THE CITY OF GOLDSBORO
FOR MORE THAN 14 YEARS**

WHEREAS, Thomas L. Williams retired on February 28, 2014 as a Sanitation Technician in the Public Works Department of the City of Goldsboro with more than 14 years of service; and

WHEREAS, Thomas began his career on March 10, 1999 as a Laborer II with the Public Work Department where he served until his retirement; and

WHEREAS, Thomas proved himself to be a dedicated and efficient public servant who gained the admiration and respect of his fellow workers and the citizens of the City of Goldsboro; and

WHEREAS, the Mayor and City Council of the City of Goldsboro are desirous, on behalf of themselves, the other City officials and employees and the citizens of the City of Goldsboro, of expressing to Thomas L. Williams their deep appreciation and gratitude for the service rendered by him to the City over the years.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and City Council of the City of Goldsboro, North Carolina that:

1. We express to Thomas L. Williams our deep appreciation and gratitude for the dedicated service rendered during his tenure with the City of Goldsboro.
2. We offer Thomas our very best wishes for success, happiness, prosperity and good health in his future endeavors.
3. This Resolution shall be incorporated into the official Minutes of the City of Goldsboro, and shall be in full force and effect from and after this 10th day of March, 2014.

Approved as to Form Only:

Reviewed by:

City Attorney

City Manager



City of Goldsboro

P.O. Drawer A
North Carolina
27533-9701

RESOLUTION NO. 2014-17

RESOLUTION EXPRESSING APPRECIATION FOR SERVICES RENDERED BY THOMAS L. WILLIAMS AS AN EMPLOYEE OF THE CITY OF GOLDSBORO FOR MORE THAN 14 YEARS

WHEREAS, Thomas L. Williams retired on February 28, 2014 as a Sanitation Technician in the Public Works Department of the City of Goldsboro with more than 14 years of service; and

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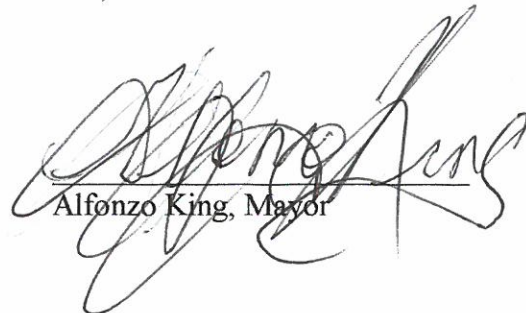
WHEREAS, Thomas proved himself to be a dedicated and efficient public servant who gained the admiration and respect of his fellow workers and the citizens of the City of Goldsboro; and

WHEREAS, the Mayor and City Council of the City of Goldsboro are desirous, on behalf of themselves, the other City officials and employees and the citizens of the City of Goldsboro, of expressing to Thomas L. Williams their deep appreciation and gratitude for the service rendered by him to the City over the years.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and City Council of the City of Goldsboro, North Carolina that:

1. We express to Thomas L. Williams our deep appreciation and gratitude for the dedicated service rendered during his tenure with the City of Goldsboro.
2. We offer Thomas our very best wishes for success, happiness, prosperity and good health in his future endeavors.
3. This Resolution shall be incorporated into the official Minutes of the City of Goldsboro, and shall be in full force and effect from and after this 10th day of March, 2014.




Alfonzo King, Mayor