

# City of Goldsboro Planning Commission / Board of Adjustment Agenda for April 27, 2026

## The Commission

William Rose Jr. - Chairperson

Shirley Edwards- Vice Chairperson - Wayne County & ETJ Representative

Duke Cox

Kevin Woodard

Viola Figureoa

Glenn Barwick

Ronald Waters - Wayne County & ETJ Representative

## The Staff

Mark E. Helmer, AICP, CFM, Planning Services Manager

Kenny Talton, MPA, Assistant Planning Services Manager

Holly Jones, CMC, NCCMC, MPA, Planning Executive Assistant

**GOLDSBORO PLANNING COMMISSION/  
BOARD OF ADJUSTMENT  
REGULAR MEETING AGENDA  
MONDAY, APRIL 27, 2026**



*(Please turn off, or silence, all cellphones upon entering the meeting.)*

**1. Call to Order**

**2. Roll Call**

**3. Adoption of the Agenda**

**4. Approval of Meeting Minutes**

4.1 Approval of Regular Meeting Minutes for March 30, 2026

**5. Board of Adjustment Items for Public Hearing**

All witnesses must be sworn in.)

5.1 BOA-03-26 SALVADOR GARCIA TOLEDO; VARIANCE REQUEST- SECTION  
5.2 GENERAL SETBACK, HEIGHT AND AREA STANDARDS AND SECTION  
5.3 CONVENTIONAL DIMENSIONAL TABLES AND STANDARDS OF  
GOLDSBORO UNIFIED DEVELOPMENT ORDINANCE

**6. Planning Commission Items**

6.1 CZ-01-26 - Tucker Trace (Highway Business/Residential-16 to Residential-6/General  
Business Conditional Zoning) – South side of Tommy’s Road, between US Hwy. 117  
North and Deans Lane (Continued from March 30, 2026)

**7. Reports**

**8. Adjournment**

The City of Goldsboro will make reasonable accommodations for access to City services, programs, and activities, and will make special communication arrangements for persons with disabilities. Please call (919) 580-4330 by noon on the Thursday prior to the meeting to make arrangements.

**MINUTES OF THE REGULAR MEETING OF THE  
GOLDSBORO PLANNING COMMISSION/BOARD OF ADJUSTMENT  
MARCH 30, 2026**

The Planning Commission/Board of Adjustment of the City of Goldsboro, North Carolina, met in Regular Session in the Large Conference Room, City Hall Addition, 200 North Center Street, at 6:00 p.m. on March 30, 2026.

Present: Mr. William Rose, Chair, Presiding  
Ms. Shirley Edwards, Vice-Chair  
Mr. Ronald Waters  
Ms. Viola Figueroa  
Mr. Kevin Woodard  
Mr. Duke Cox  
Mr. Glen Barwick

Also Present: Mark Helmer, Planning Services Manager  
Kenny Talton, Assistant Planning Services Manager  
Holly Jones, Planning Executive Assistant

Mr. Rose began the meeting at 6:02 p.m.

**Adoption of the Agenda**

Ms. Figueroa made a motion to adopt the agenda as presented. The motion was seconded by Mr. Barwick and unanimously carried.

**Approval of Minutes**

Ms. Edwards made a motion to approve the minutes Regular Meeting of February 23, 2026. The motion was seconded by Mr. Waters and unanimously carried.

**Swearing in of New Member**

Holly Jones, Planning Executive Assistant, swore in Kevin Woodard, who was appointed to the Goldsboro Planning Commission/Board of Adjustment by City Council on January 5, 2026.

**Board of Adjustment**

**BOA-1-26 Maria Lowela Amarille Ligua; Variance Request- Section 5.2.8 Accessory Structures of Goldsboro Unified Development Ordinance.** Kenny Talton, Assistant Planning Services Manager, presented the case, after being properly sworn in.

The property is located at the corner of Nile and Brazil Streets and addressed as 807 Nile St., Goldsboro, North Carolina 27534. It is in the corporate limits of the City of Goldsboro. The property is zoned Residential (R-6). The Wayne County Tax Identification No. is 3509232855. The property has a total frontage of approximately 145 ft. along Nile St. and 50 ft. along Brazil Sr. and a total area of approximately 6,515 sq. ft. or 0.15 acres.

The applicant is requesting a variance of Section 5.2.8 Accessory Structures of Goldsboro's Unified Development Ordinance. Specifically speaking, the applicant is requesting a variance of the requirement that no accessory structure not otherwise regulated by Goldsboro's Unified Development Ordinance shall be located within the required or established front or side setback or front or side yard of a single-family or two-family residentially developed property.

**Variations as stipulated in the North Carolina General Statutes Section 160A-388(d):**

“When unnecessary hardships would result from carrying out the strict letter of a zoning ordinance, the Board of Adjustment shall vary any of the provisions of the ordinance upon a showing of all of the following:

- (1) Unnecessary hardship would result from the strict application of the ordinance. It shall not be necessary to demonstrate that, in the absence of the variance, no reasonable use can be made of the property.
- (2) The hardship results from conditions that are peculiar to the property, such as location, size, or topography. Hardships resulting from conditions that are common to the neighborhood or the general public, may not be basis for granting a variance.
- (3) The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify the granting of a variance shall not be regarded as a self-created hardship.

- (4) The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

**DISCUSSION**

The owner of the property is identified as Maria Lowela Amarille Ligua.

The subject property is located at 807 Nile St., Goldsboro, North Carolina.

The subject property is located within Goldsboro’s corporate limits.

City water and sewer services are available to serve the property.

The subject property is not located in a Special Flood Hazard Area.

According to the City of Goldsboro’s Unified Development Ordinance (Section 5.2.8 Accessory Structures), no accessory structure not otherwise regulated by this Ordinance shall be located within the required or established front or side setback or front or side yard of a single-family or two-family residentially developed property. All accessory buildings associated with single-family and two-family homes shall be located in the rear yard.

The principal dwelling is oriented facing Nile St.

According to the City of Goldsboro’s Unified Development Ordinance (Section 5.2.3 Front Setbacks), the lot line to which the front door is oriented shall be designated as the front.

The established front yard is designated along Nile St.

According to the City of Goldsboro’s Unified Development Ordinance (Section 5.2.3 Front Setbacks), lot lines that are opposite the designated front lot lines shall be designated as rear lot lines.

The established rear yard is designated as opposite Nile St. and located along the northern property line behind the principal residence.

The owner of the property proposes constructing a 24 ft. x 25 ft. garage (600 sq. ft.) in the side yard of their existing 1,477 sq. ft. single-family dwelling.

The home and lot are located in an R-6 (Residential) zoning district. Setbacks for the Residential (R-6) zoning district are as follows:

R-6 Residential Zoning District	
Front	25 ft.
Rear	25 ft.
Side	8 ft.
Corner Side	16 ft.
Minimum Lot width (Frontage)	60 ft.
Minimum Lot Area	6,000 ft.

**FINDING OF FACT**

Planning staff make the following Finding of Fact as it relates to the variance request and Section 160A-388(d):

- (1) “Unnecessary hardship would result from the strict application of the ordinance.

**Finding:** Applicant will suffer unnecessary hardship from strict application of the ordinance. Sufficient space is not available for the proposed garage to be located in the rear yard of the residential lot.

- (2) The hardship results from conditions that are peculiar to the property, such as location, size, or topography.

**Finding:** The hardship results from conditions that are peculiar to the property. To the best of planning staff’s knowledge, the existing single-family dwelling was constructed prior to the establishment of zoning for the City of Goldsboro. If new residential construction was proposed in accordance with the current Unified Development Ordinance, the front yard would be designated as the shorter dimension of the residential lot and a variance would not be necessary since the proposed accessory structure would be located in the rear lot of the property.

- (3) The hardship did not result from actions taken by the applicant or the property owner.

**Finding:** The hardship does not result from actions taken by the property owner.

- (4) The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.”

**Finding:** The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

Planning staff believe that the proposal would be in harmony with existing structures within the existing neighborhood. In addition, staff believe that the variance will not adversely affect neighboring property values. Lastly, staff believe that granting of the variance will not create safety issues or traffic concerns within the neighborhood.

Mr. Rose opened the public hearing. The following person spoke after being properly sworn in:

1. Maria Lowela Amarille Ligua, owner and applicant. She explained that the area has some crime, and she needs space for her vehicle and yard tools. She asked that the variance be approved for the safety of her and her home.

No one else spoke and the public hearing was closed.

Mr. Rose asked what City staff’s recommendation was regarding this case. Mr. Talton read the Findings of Fact as stated in the agenda. Ms. Edwards stated that this request is in line with what others in the neighborhood have had to do, due to the design of the neighborhood.

Mr. Rose read each finding and requested a motion to approve or deny.

Ms. Edwards made a motion to approve finding 1. The motion was seconded by Mr. Waters and unanimously carried.

Ms. Figueroa made a motion to approve finding 2. The motion was seconded by Mr. Barwick and unanimously carried.

Ms. Edwards made a motion to approve finding 3. The motion was seconded by Mr. Woodard and unanimously carried.

Mr. Waters made a motion to approve finding 4. The motion was seconded by Mr. Cox and unanimously carried.

The variance is approved unanimously. Ms. Ligua thanked staff and the Commission.

### **Planning Commission**

#### **Rezoning**

**CZ-01-26 Tucker Trace (Highway Business/Residential-16 to Residential-6/General Business Conditional Zoning) – South side of Tommy’s Road, between US Hwy. 117 North and Deans Lane.** The item was presented by Kenny Talton, Assistant Planning Services Manager.

ADDRESS: 296 Tommy’s Road  
PARCEL: 3601-50-3388  
OWNER: Marks Farms LLC  
APPLICANT: Marks Farms LLC c/o Mr. Matt Botzum

The applicant requests a change of zone from the Highway Business/Residential-16 to Residential-6/General Business Conditional Zoning District to construct a new mixed-use development consisting of 140 single-family detached residential lots and 1 commercial lot within the corporate limits of Goldsboro.

The Residential-6 Zoning District was established to accommodate both single and multifamily residential uses and to prohibit all activities of a commercial nature, except for certain home occupations. The minimum lot size is six thousand square feet for a detached single-family dwelling. The General Business Zoning District was established to accommodate the widest range of uses providing general goods and services to the community. The district is intended to promote high quality, accessible developments serving the needs of the community and surrounding area. There is no minimum lot size.

Area: 53.7 acres: Proposed as (R-6CZ)  
2.96 acres: Proposed as (GB)

Adjacent Zoning and Land Uses		
North	R16/RM9	Single-family detached
South	R16	Single-family detached
East	R16	Single-family detached
West	GB	Agriculture; woodlands

The property is identified as within the Medium-Density, Mixed-Use I and Mixed-Use II land use category. Medium and High-Density Residential land uses have been designated for areas that have water or sewer service or where plans exist to extend water or sewer service. Although the requested Residential-6 Conditional Zoning District is not a corresponding zoning district in the Medium Density land use category, Goldsboro’s Comprehensive Land Use Plan encourages higher density development where City water and sewer services are available.

Mixed-Use I and II land use categories will allow a mixture of commercial uses some of which may or may not have an impact on or produce some conflict with adjacent lower density districts. Office and Institutional usage is recommended as a buffer/transition between lower and higher density land uses.

Site Access will be provided by three full movement driveways on Tommy's Road (one north of Tommys Road for access to the outparcel and two south of Tommys Road for access to the residential portion) as well as one full movement driveway on Deans Lane. According to NCDOT, no roadway improvements will be required for the proposed subdivision.

Interconnectivity has been identified along the eastern and southern property boundaries. 4 ft. wide internal handicap accessible sidewalks will be provided on one side of the streets connecting residential dwellings to other destinations such active and passive open spaces to include playgrounds, mail kiosks and other site amenities. One stub street will provide future access to properties to the Southwest, and one stub street will provide future access to properties to the Southeast.

The applicant conducted a traffic assessment at the intersection of Highway 117/North William Street at Tommy’s Road and determined that a traffic signal is warranted regardless of future development and has committed to the installation of this signal should the project be approved by City Council. The applicant is currently working with NCDOT to determine the scoping of a TIA regarding the proposed development.

Phased Development: If approved, the proposed 140-lot residential subdivision will begin a 4-phase construction schedule to start in January 2027.

- Phase 1: Lots 1-39, 62-74, 129-140
- Phase 2-A: Lots 75-79, 104-128
- Phase 2-B: Lots 80-103
- Phase 2-C: Lots 40-61

Density will equal 140 units/56.76 acres = 2.47 dwelling units/per acre

Proposed Lot Dimensions and Setbacks:

	R-6CZ:	lots 44-50& 83-84	GB:
Min. lot size:	5,400 sq. ft.	16,000 sq. ft.	N/A
Min. lot width:	45 ft.	45ft.	N/A
Min. front setback:	15ft.	40ft.	20 ft.
Min. side setback:	5 ft.	16ft.	15 ft.
Min. side corner setback:	15 ft.	32ft.	N/A
Min. rear setback:	15 ft.	25ft.	25 ft.
Max. building height:	2 stories	2 stories	N/A

Open Space will be provided by active and inactive open space totaling 20 acres; approximately 35% of the gross site area. Open spaces will include playgrounds, mail kiosks, and walking trails, passive green space, and required buffer area spaces. All open spaces will be held in common ownership, for the perpetual benefit of residents of the development by a HOA (Homeowners Association).

The applicant has proposed the following as CONDITIONS for the requested Residential-6

Conditional Zoning District approval:

1. Building height 2-stories, maximum.
2. Shutters or window trim shall be provided on the front façade on all homes.
3. The front facades of all homes will feature a minimum two (2) architectural features (from the following list):
  - a. Horizontal siding
  - b. Board & Batten siding
  - c. Shake siding
  - d. Stone accent
  - e. Brick accent
  - f. Balcony
  - g. Columns
  - h. Covered porch entry
4. All slab foundations with an exposed height of greater than 12 inches shall be finished with masonry product - applies to front and side elevations with right of way frontage.
5. Any cantilevered projection shall have cosmetic brackets, or shelf supports directly underneath them.
6. All windows within a street facing facade utilizing siding materials shall either be set in full 4” trim at least equivalent to 1-inch x 4-inch board or feature decorative sills and pediments.
7. All windows of a dwelling unit, except for accent windows, picture windows, transoms, and bay windows, shall feature a common muntin pattern colonial pattern in half of each window.
8. All dwelling units shall have either a 2-car garage or a 1-car garage.
9. Garage doors shall have windows or decorative hardware.
10. A covered front porch is required for all dwelling units.
11. A minimum 6-foot deep outdoor patio shall be provided on all dwelling units.
12. All homes shall have minimum 12-inch eaves on two sides.
13. All corner lot units shall have a minimum of one window, facing the public right-of-way.
14. To ensure visual variety and maintain aesthetic appeal, no home will feature the same exterior siding and trim color combination as a house directly adjacent or directly across the street from it.

Additional CONDITIONS for the Residential-6/General Business Conditional Zoning District:

1. Applicant will complete a Traffic Impact Analysis, as scoped by NCDOT, and construct any required improvements subject to approval by NCDOT.
2. On-site stormwater control measures will be designed to capture and treat the 100-yr storm.
3. Developer shall install a signal at the intersection of Tommy's Road and North William Street, subject to approval by NCDOT.
4. Developer shall install a 30' landscape buffer yard adjacent to Dean's Lane.

Staff is recommending approval of the conditional rezoning request since the proposed zoning and land use is compatible with the Comprehensive Land Use Plan and Land Use Plan Map. In addition, the City of Goldsboro will be able to provide sufficient public safety and meet transportation and utility demands for the subject property while maintaining sufficient levels of service to existing developments. Staff believe that the proposed rezoning will not impair or injure the health, safety and general welfare of the public. Lastly, the proposed conditional zoning and land use request will address Goldsboro’s housing shortage, offering increased housing options and affordability while providing economic, social and environmental benefits that enhance residents and their quality of life.

Collier Marsh, with Parker Poe, on behalf of the developer, presented a PowerPoint regarding the project (Exhibit A).

Mr. Woodard shared concerns about traffic, stormwater, and the pump station. Mr. Barwick asked if this request has been compared to the new Comprehensive Land Use Plan, currently in development. Mark Helmer, Planning Services Manager, stated that both the existing and the new Comprehensive Plan called for similar development in this area; the new plan follows property lines instead of drawing abstract circles.

Mr. Rose asked if Tommys Road may become more of a service road for the highway. Mr. Helmer stated that he could see it becoming a road for cross-city traffic to go around, much like New Hope Road.

Mr. Rose asked about the green area at the road frontage. Mr. Marsh stated that all the green on the plan is open space. Mr. Rose asked for confirmation that they would not be able to build in those areas. Mr. Marsh confirmed that was correct.

Mr. Rose expressed concern about the buffer between the development and the neighboring properties. He suggested that large evergreens be used to quickly and thoroughly block the subdivision from neighboring properties. Mr. Marsh stated that they would work with staff to create a better buffer that satisfies all parties.

Mr. Woodard asked if the pump station would be built above the flood plain. Robert Bartlett, with Bartlett Engineering, confirmed that the pump station would be above the 100- and 500-year floodplain. Mr. Helmer stated that all of the structures and improvements would be out of the 100-year floodplain.

Mr. Rose asked if they would be putting turning lanes in at the new stoplight. Mr. Marsh stated that a TIA would be done, and if turning lanes are required, they will be installed.

Mark Metzler, representing the neighboring property owners, shared concerns about how long it would take for the buffer to grow, how many homes the project would add, and that the developer had obtained commercial property further down the road. He shared concerns about the density, and how much traffic would be created, even with the addition of a traffic light. Mr. Metzler also reminded the group about the previous conditional zoning for a car lot. He asked everyone to think about the impacts of this project down the road.

Mr. Cox asked how long Mr. Metzler had lived in that area. Mr. Metzler stated he had lived there for 11 years, but has lived in Wayne County his whole life.

Ms. Figueroa shared concerns regarding the run-off and flooding. Mr. Rose asked if this would be a problem for the nearby blueline ditch. Kenny Talton, Assistant Planning Services Manager, stated that he would have to defer to the civil engineers and the City Engineering Department. Mr. Marsh reiterated that the pump station would be located entirely out of the flood plain. He stated there are also enhanced stormwater controls to reduce the flooding during storms.

Mr. Rose asked if the developers could do R-12 instead. Mr. Marsh stated that they had looked at the cost of infrastructure improvements, etc., and how many units would be needed to have the project be viable. Mr. Helmer stated that this is already a low-density proposed project; the project has reduced lot sizes and clustered properties in order to stay out of the environmentally sensitive areas.

Chris Cox, also on behalf of the neighboring property owners, discussed the original 2011 conditional rezoning for commercial property, including the large buffer and the conditional business use. He stated that the neighbors were aware this area would be a commercial node as a new entrance into Goldsboro. He continued, stating that the neighbors were not against development, but were not in favor of any residential development less than the existing R-16 zoning.

Mr. Rose asked if the developer would be willing to go down to a lower density. Mr. Marsh stated that they understood the concerns, but the developers cannot go any lower, or the project would not be viable.

Ms. Edwards made a motion to table the item to the next meeting on April 27, 2026. The motion was seconded by Mr. Rose and unanimously carried.

Mr. Rose asked the developers to try and work with the neighbors and Planning staff to bring something back to the next meeting that would be more agreeable to all.

There being no further business, Mr. Rose asked for a motion to adjourn the meeting. Ms. Edwards made the motion, and it was seconded by Mr. Waters. The motion was unanimously carried, and the meeting adjourned at 7:24 p.m.

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William Rose  
Chair

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Holly Jones  
Planning Executive Assistant

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# Tucker Trace

## 296 Tommy's Road

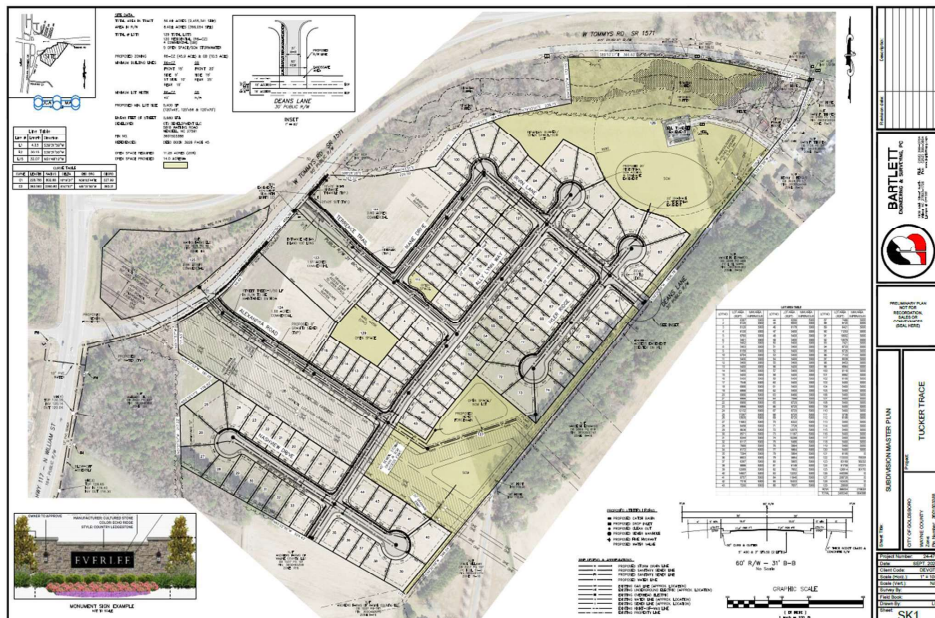
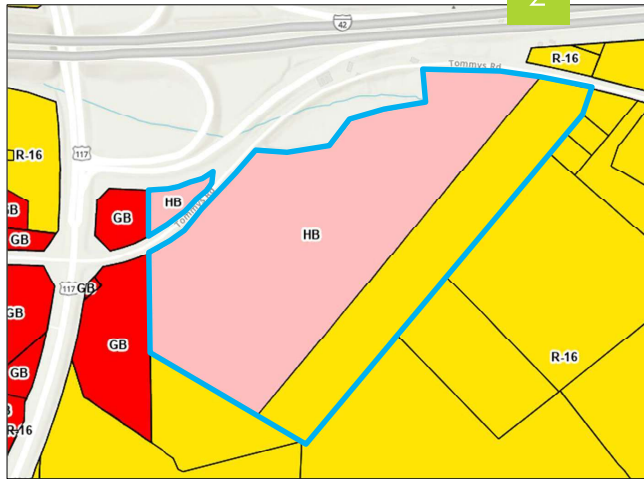
Rezoning Case CZ-01-26

CITY OF GOLDSBORO

2

### Site Details

► Acres





## Zoning Conditions

5

### **R-6 Conditions**

1. Max 2 story height
2. Windows must have shutters or window trim
3. Front facades of homes must have two of the following: Horizontal siding, Board & Batten siding, Shake siding, Stone accent, Brick accent, Balcony, Columns, Covered porch entry
4. Exposed slab foundations greater than 12 inches shall have a masonry finish
5. Cantilevered projections shall have cosmetic brackets or shelf supports
6. Street facing windows must have 4" trim or decorative sills and pediments
7. Windows must have a common muntin pattern in half of each window
8. All homes must have either a 1- car or 2-car garage
9. Garage doors must have windows or decorative hardware

10. All homes must have a covered front porch
11. All homes must have a minimum 6-feet deep outdoor patio
12. All homes must have minimum 12-inch eaves on two sides
13. Corner lot homes must have at least one window facing the public ROW
14. No home can have same exterior siding and trim color combination as a house directly adjacent or across from it

### **R-6 and GB Conditions**

1. TIA must be performed and resulting improvements must be constructed
2. Stormwater control measures shall be designed to treat the 100-yr storm
3. Install a signal at the intersection of Tommy's Road and North William Street
4. 30' landscape buffer yard adjacent to Dean's Lane

## Staff Recommendation

6

### **STAFF RECOMMENDATION:**

Staff is recommending approval of the conditional rezoning request since the proposed zoning and land use is compatible with the Comprehensive Land Use Plan and Land Use Plan Map. In addition, the City of Goldsboro will be able to provide sufficient public safety and meet transportation and utility demands for the subject property while maintaining sufficient levels of service to existing developments. Staff believe that the proposed rezoning will not impair or injure the health, safety and general welfare of the public. Lastly, the proposed conditional zoning and land use request will address Goldsboro's housing shortage, offering increased housing options and affordability while providing economic, social and environmental benefits that enhance residents and their quality of life.

**CITY OF GOLDSBORO  
AGENDA MEMORANDUM  
APRIL 27, 2026 PLANNING COMMISSION/BOARD OF ADJUSTMENT MEETING**

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**TITLE:** BOA-03-26 SALVADOR GARCIA TOLEDO; VARIANCE REQUEST- SECTION 5.2 GENERAL SETBACK, HEIGHT AND AREA STANDARDS AND SECTION 5.3 CONVENTIONAL DIMENSIONAL TABLES AND STANDARDS OF GOLDSBORO UNIFIED DEVELOPMENT ORDINANCE

**DEPARTMENT:** Planning

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**BACKGROUND:**

The property is located on the West side of Poplar Street between East Elm Street and East End Circle and is addressed as 607 Poplar Street, Goldsboro, North Carolina 27530. It is in the corporate limits of the City of Goldsboro. The property is zoned Residential (R-6). The Wayne County Tax Identification No. is 3509-22-4259. The property has a total frontage of approximately 48 ft. along Poplar Street and a total area of approximately 2,160 sq. ft. or 0.050 acres.

The applicant is requesting a variance of Section 5.2 General Setback, Height and Area Standards and Section 5.3 Conventional District Dimensional Tables and Standards of Goldsboro’s Unified Development Ordinance. Specifically speaking, the applicant is requesting a variance of the minimum lot area and setback requirements of the R-6 Zoning District.

**Variations as stipulated in the North Carolina General Statutes Section 160A-388(d):**

“When unnecessary hardships would result from carrying out the strict letter of a zoning ordinance, the Board of Adjustment shall vary any of the provisions of the ordinance upon a showing of all the following:

1. Unnecessary hardship would result from the strict application of the ordinance. It shall not be necessary to demonstrate that, in the absence of the variance, no reasonable use can be made of the property.
2. The hardship results from conditions that are peculiar to the property, such as location, size, or topography. Hardships resulting from conditions that are common to the neighborhood or the general public, may not be basis for granting a variance.
3. The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify the granting of a variance shall not be regarded as a self-created hardship.
4. The requested variance is consistent with the spirit, purpose, and intent of the ordinance,

such that public safety is secured, and substantial justice is achieved.

**DISCUSSION:**

The owners of the property are identified as Silvia Lorena Salazar Vazquez and Guadalupe Salvador Garcia Toledo.

The subject property is located at 607 Poplar Street, Goldsboro, North Carolina.

The subject property is located within Goldsboro's corporate limits.

City water and sewer services are available to serve the property.

The subject property is not located in a Special Flood Hazard Area.

The property is currently vacant.

The established front yard is designated along Poplar Street.

The applicant proposes constructing a single-family dwelling 20 ft. x 29.67 ft. (approximately 593.4 sq. ft.) upon the subject property.

The lot is an existing non-conforming lot within a residential zoning district.

The applicant proposes the following setbacks for the proposed single-family dwelling in accordance with survey submitted by B.R. Kornegay, Inc. to the City of Goldsboro's Planning Department on 3/25/26.

- Front: 12.5 ft.
- Side: 9.16 ft.
- Rear: 2.5 ft.

In accordance with Section 5.6.6 Nonconforming lots of the Goldsboro Unified Development Code, in any district in which single-family dwellings are permitted, notwithstanding limitations imposed by other provisions of this chapter, a single-family dwelling and customary accessory buildings may be erected on any single lot of record as of January 18, 1960, or on the date of amendment of this chapter. Such lot must be in separate ownership and not of continuous frontage with other lots in the same ownership. This provision shall apply even though such lot fails to meet the requirements for area or width, or both, that are generally applicable in the district, provided that yard dimensions and other requirements shall be obtained only through the Board of Adjustment. No permit or variance shall be issued under the provisions of this subsection until the Planning Director has certified that the lot has been in single and separate ownership and not of continuous frontage with other lots in the same ownership since January 18, 1960, or the date of any subsequent amendment which rendered the lot nonconforming.

As of April 17, 2026, the planning services manager has certified that the lot has been in single and separate ownership and not of continuous frontage with other lots in the same ownership since January 18, 1960, or the date of any subsequent amendment which rendered the lot nonconforming.

The lot is in an R-6 (Residential) zoning district. According to the City of Goldsboro’s Unified Development Ordinance (Section 5.3 Conventional District Dimensional Tables and Standards), the minimum setbacks and width of a parcel for the Residential (R-6) zoning district are as follows:

R-6 Residential Zoning District	
Front	25 ft.
Rear	25 ft.
Side	8 ft.
Corner Side	16 ft.
Minimum Lot width (Frontage)	60 ft.
Minimum Lot Area	6,000 ft.

**FINDING OF FACT:**

Planning staff make the following Finding of Fact as it relates to the variance request and Section 160A-388(d):

- (1) “Unnecessary hardship would result from the strict application of the ordinance.

**Finding:** Applicant will suffer unnecessary hardship from strict application of the ordinance. Without a variance, the lot cannot be developed for residential use.

- (2) The hardship results from conditions that are peculiar to the property, such as location, size, or topography.

**Finding:** The hardship results from conditions that are peculiar to the property. In accordance with Section 5.6.6 of Goldsboro’s Unified Development Code, the lot existed prior to January 18, 1960. In addition, the lot was in separate ownership and not of continuous frontage with other lots in the same ownership. Lastly, the planning services manager has certified that the lot has been in single and separate ownership and not of continuous frontage with other lots in the same ownership since January 18, 1960, or the date of any subsequent amendment which rendered the lot nonconforming.

- (3) The hardship did not result from actions taken by the applicant or the property owner.

**Finding:** The hardship does not result from actions taken by the property owner.

- (4) The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.”

**Finding:** The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

**BUDGET RELATIONSHIP:**

N/A

**STRATEGIC PLAN RELATIONSHIP:**

N/A

**STAFF RECOMMENDATION:**

Planning staff believe that the proposal would be in harmony with existing structures within the existing neighborhood. In addition, staff believe that the variance will not adversely affect neighboring property values. Lastly, staff believe that granting of the variance will not create safety issues or traffic concerns within the neighborhood.

**MANAGER'S RECOMMENDATION:**

N/A

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**APPROVERS**

Mark Helmer  
April Choice  
Kellianne Williams

**VARIANCE REQUEST APPLICATION  
(BOARD OF ADJUSTMENT REVIEW)**

Zoning District: **R-6** Parcel Identification Number: **3509224259**

Type of Request:  Variance  Appeal Reasonable Accommodation?  Yes  No

Property Address: **607 Poplar Street, Goldsboro NC 27530**

Applicant Name\*: **Salvador Garcia Toledo**

Email: [REDACTED]@gmail.com Phone: 919-[REDACTED]

Total Acreage: 0.050 Frontage: 45ft Depth: 48ft

UDO provision, regulation or policy: \_\_\_\_\_

*If requesting Reasonable Accommodation fill out the following:*  
Explanation of why reasonable accommodation is necessary to make specific property available for the individual:  
(The basis for the claim that the applicant is considered disabled or handicapped under federal law.)  
Requesting a variance from the City of Goldsboro Unified Development Ordinance setback requirements, specifically, the 25-foot front setback, 25-foot rear setback for residential development in the R-6 zoning district.

**DEVELOPER INFORMATION**

Company Name **Self/ Property Owner** Contact Name **Salvador Garcia Toledo**

Address **5302 Barbee RD Durham NC 27713**

Phone 919-[REDACTED] Email [REDACTED]@gmail.com

**CONSULTANTING/ENGINEERING FIRM**

Company Name **B.R. Kornegay, Inc.** Contact Name **Bobby Kornegay**

Address **300 E Walnut St, Goldsboro NC**

Phone 919-[REDACTED] Email \_\_\_\_\_

## WRITTEN DESCRIPTION AND REASON FOR REQUEST

Describe all proposed changes to the property, including materials to be used, and make a case for the variance.  
Use additional pages, if necessary.

The applicant is requesting a variance from the required front and rear yard setbacks to allow for the construction of a single-family residence on the property located at 607 Poplar Street in Goldsboro, North Carolina. The subject property consists of approximately 2,160 square feet (0.050 acres) and is constrained by the required setbacks of 25 feet in the front and rear under R-6 zoning district. Due to the limited size and configuration of the lot, these setback requirements create a situation where there is no reasonable buildable area of a standard residential structure. The proposed home has a footprint of approximately 20 feet by 29.67 feet and has been carefully designed to minimize its impact while fitting within the constraints of the lot. Even with this reduced footprint, strict application of the setback requirements makes development impractical. The hardship is not self-created but is a result of the unique size and dimensions of the lot. Without the requested variance, the property cannot be reasonably used for its intended purpose as a residential lot.

Before the Commission meeting, the owners of properties located in proximity to the request will be sent a letter as their notification of the hearing. Staff will visit the site and post a public hearing of notification sign.

Applicants are required to attend the meeting to present their application and answer questions or the Commission may continue the application until the next scheduled meeting. If you cannot appear in person at the commission meeting, you may appoint a duly authorized agent. All application fees must be paid at the time the application is submitted.

## APPLICANT ACKNOWLEDGEMENT

By submitting this application, you agree to the following statement:

I certify that I have read the instructions to this application and that the information I have included, and any accompanying documentation, is complete and accurate to the best of my knowledge. I further certify that I agree to comply with all conditions of the variance.

### SIGNATURE REQUIRED

Guadalupe Salvador Garcia Toledo      Salvador Garcia      3-23-26  
Applicant - Printed      Applicant Signature      Date

\*If the applicant is not the owner, he/she must be authorized by the owner to commit to changes proposed by the Commission.  
Be sure to submit an Owner's Authorization Form.

Application Fee: - \$ 400 (Includes advertisement fee)    Fee Type:     Cash     Check # \_\_\_\_\_     Credit Card

Application Number: \_\_\_\_\_    Date processed: \_\_\_\_\_    Initials: \_\_\_\_\_

**LEGEND**

I.R.S. IRON ROD SET  
I.S.F. IRON STAKE FOUND  
RATIO OF PRECISION MINIMUM 1/10,000  
NO HORIZONTAL CONTROL WITHIN 2,000 FEET  
AREA COMPUTED BY D.M.D. METHOD

SCALE: 1" = 20'  
DECEMBER 17, 2025

PROPERTY ZONED R-6  
(CITY OF GOLDSBORO)

**MINIMUM SETBACK  
REQUIREMENTS**

FRONT = 25 FEET  
REAR = 25 FEET  
SIDE = 8 FEET  
CORNER = 16 FEET  
MAXIMUM HEIGHT = 35 FEET

**PROPERTY OF  
SILVIA LORENA SALAZAR VAZQUEZ  
AND HUSBAND  
GUDADALUPE SALVADOR GARCIA TOLEDO  
CITY OF GOLDSBORO  
GOLDSBORO TOWNSHIP  
WAYNE COUNTY, N.C.  
607 POPLAR STREET**

**REFERENCE**  
DEED BOOK 4011 PAGE 366

**PIN NUMBER**  
3509224259

**AREA**  
2,160 SQUARE FEET  
OR  
0.050 ACRE±

**CONTACT**  
VICTOR GARCIA  
5302 BARBEE ROAD  
DURHAM, NORTH CAROLINA 27713  
336-804-2335  
victorh17@live.com

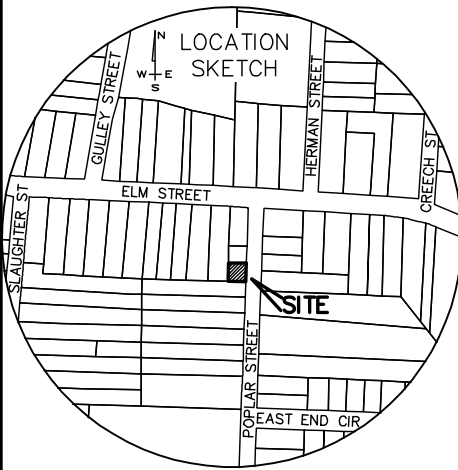
LARRY GENE WILLIAMS  
PROPERTY  
DEED BOOK 1974 PAGE 791  
ZONED R-6

LARRY GENE WILLIAMS  
PROPERTY  
DEED BOOK 1974 PAGE 791  
ZONED R-6

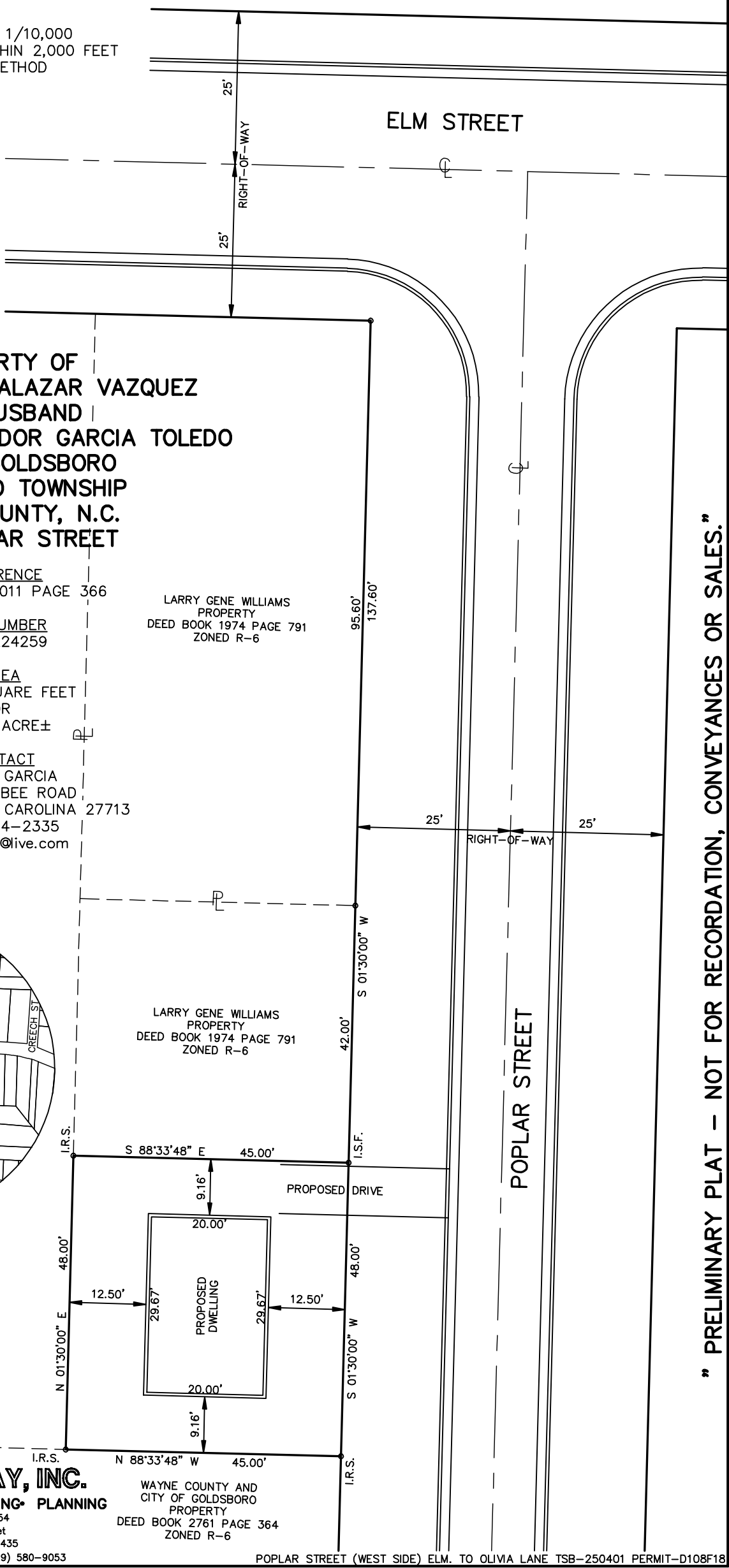
DONNIE HINNANT  
PROPERTY  
DEED BOOK 2843 PAGE 5  
ZONED R-6

WAYNE COUNTY AND  
CITY OF GOLDSBORO  
PROPERTY  
DEED BOOK 2761 PAGE 364  
ZONED R-6

MAGNETIC MERIDIAN  
DEED BOOK 4011 PAGE 366



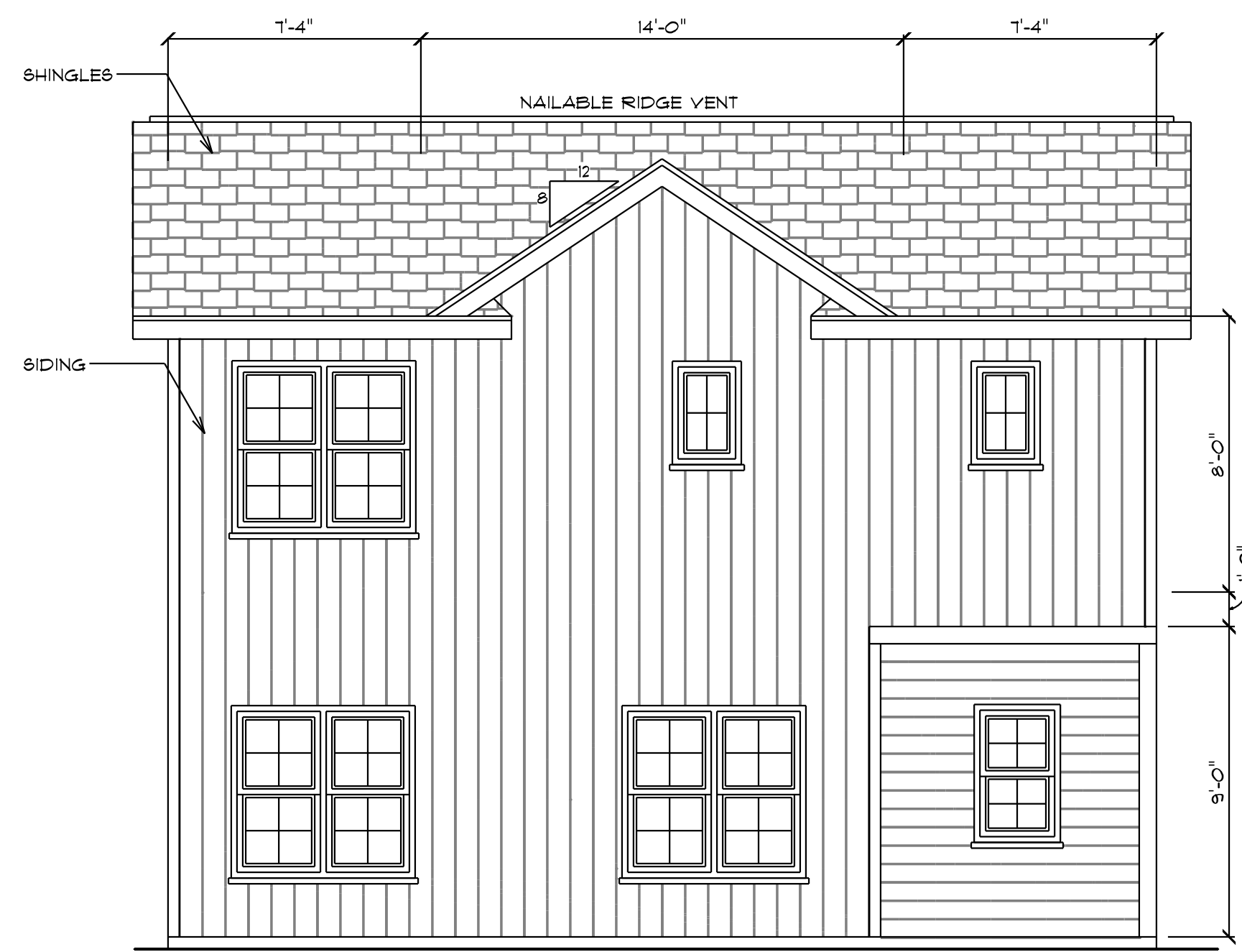
**B. R. KORNEGAY, INC.**  
LAND SURVEYING • ENGINEERING • PLANNING  
License Number: F-1054  
300 East Walnut Street  
Goldsboro, N.C. 27533-1435  
(919) 735-5886 Fax: (919) 580-9053



**” PRELIMINARY PLAT – NOT FOR RECORDATION, CONVEYANCES OR SALES.”**



REVISIONS	BY



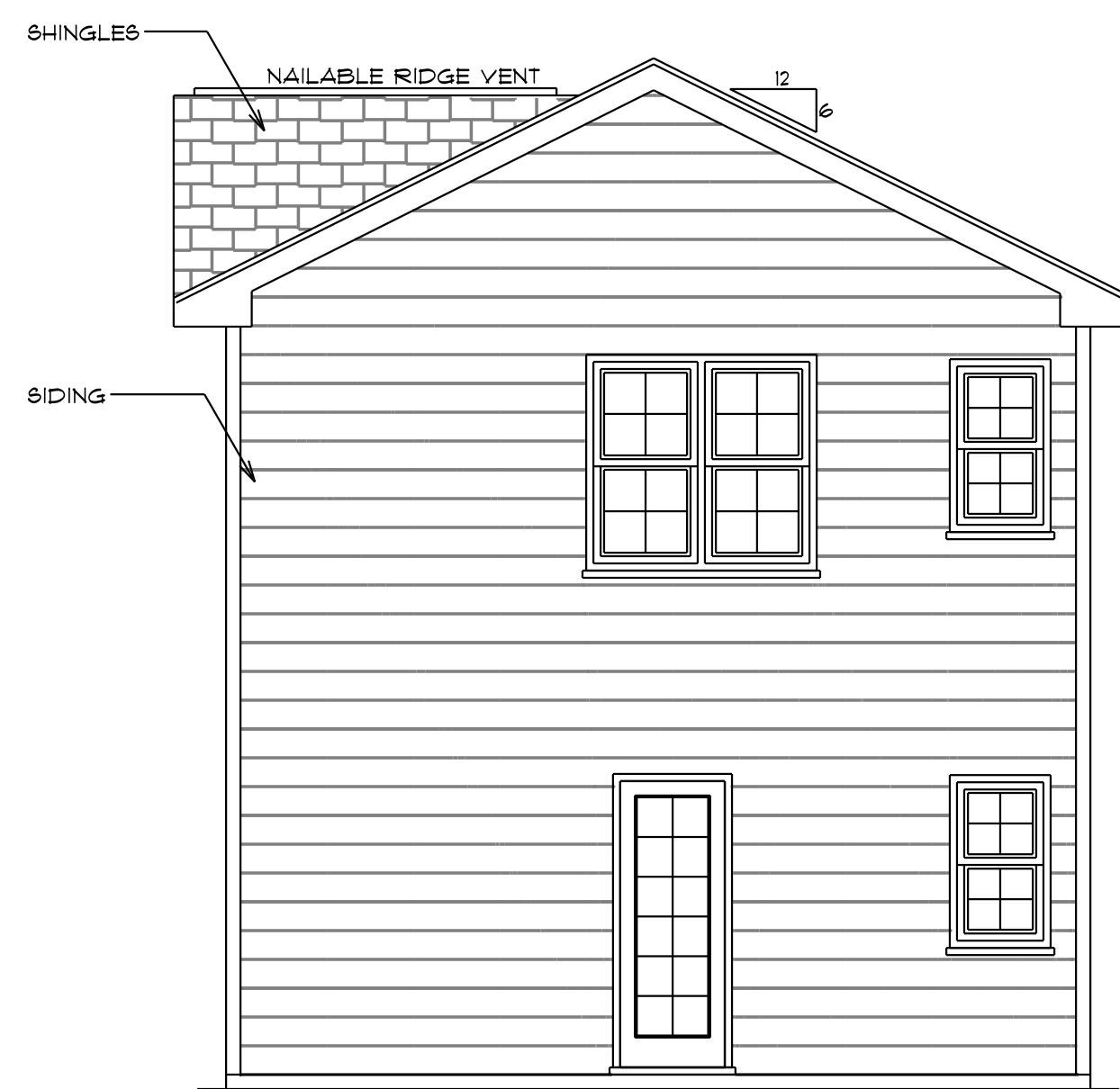
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

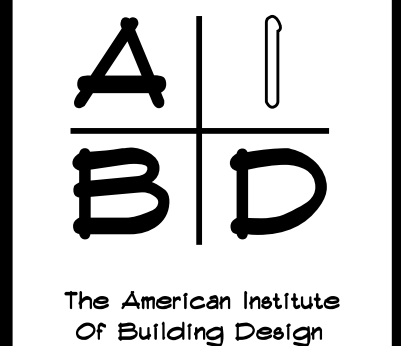


**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

**HUCKABEE**  
AND ASSOCIATES  
Custom Homes ■ Additions ■ Vacation Homes  
2411F Waters Street ■ Greensboro, NC 27408 ■ 336-282-3111

PLANS FOR:  
**SALVADOR GARCIA**  
601 POPLAR STREET  
GOLDSBORO, N.C.

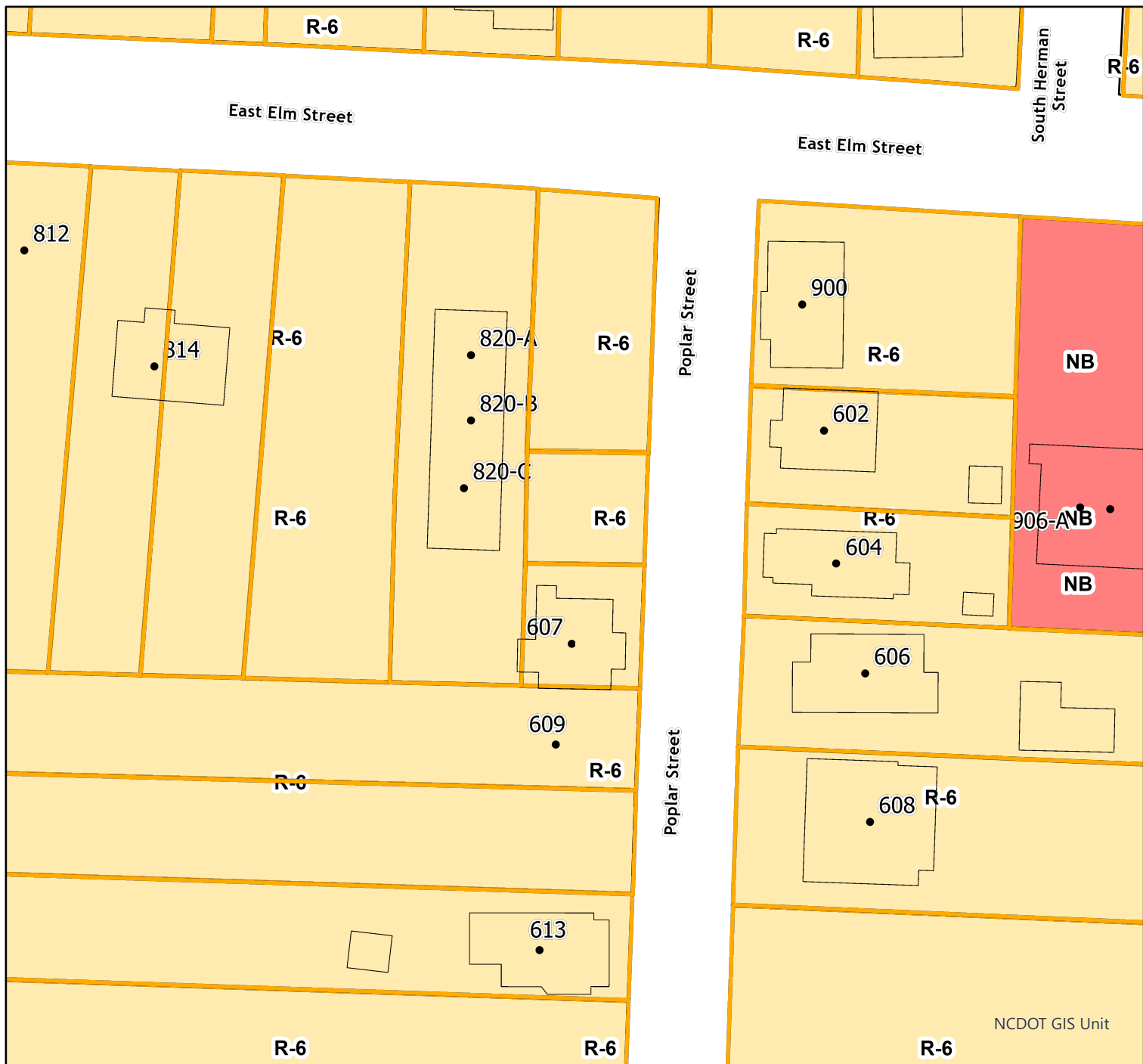


THE PLANS INCLUDED WITHIN THIS SET WERE DESIGNED TO COMPLY WITH OR EXCEED NORTH CAROLINA RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS. CHANGES TO THE BUILDING CODES ARE CONSTANT THEREFORE USE OF THESE PLANS IS SUBJECT TO LOCAL CODE REQUIREMENTS AND INTERPRETATIONS.

I CERTIFY THAT I AM A PROFESSIONAL MEMBER IN GOOD STANDING OF THE AMERICAN INSTITUTE OF BUILDING DESIGN AND THAT I AM IN FULL COMPLIANCE WITH THE TERMS AND CONDITIONS FOR THE USE OF AIBD LICENSED MATERIALS.

*J. Daniel Huckabee, Jr.* 2-27-26  
PROFESSIONAL MEMBER, AMERICAN INSTITUTE OF BUILDING DESIGN DATE

DRAWN	R. ANDERSON
CHECKED	D. HUCKABEE
DATE	2-27-26
SCALE	NOTED
NOTED	JOB NO.
SHEET	2
OF	TWO SHEETS



Case Number: BOA-03-26

Request: Variance to allow for the reduction of minimum lot area and setback requirements of the R-6 Zoning District

Owner: Silvia Lorena Salazar Vazquez and Guadalupe Salvador Garcia Toledo

Location: 607 Poplar Street

CURRENT ZONING

- |       |        |         |
|-------|--------|---------|
| AB    | O&I-II | RM-8    |
| AG    | O-R    | RM-9    |
| CBD   | R-12   | SC      |
| GB    | R-12SF | GB-CZ   |
| HB    | R-16   | PUD     |
| I-1   | R-20   | HB/OI-1 |
| I-2   | R-20A  | M       |
| IBP-1 | R-40   | NB-CZ   |
| NB    | R-6    | I-2CZ   |
| O&I-I | R-9    |         |
|       | R-9SF  |         |

0 25 50 75 100 Feet





## PLANNING DEPARTMENT

Mark E. Helmer, AICP, CFM, Planning Services Manager

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### **Notice Of Public Hearing**

Notice is hereby given that the Board of Adjustment of the City of Goldsboro will conduct a public hearing during the course of their open meeting which starts at 6:00 P.M. on Monday, April 27, 2026, in the Large Conference Room, City Hall Addition, located at 200 North Center Street to consider the following request.

**BOA-03-26 - Salvador Garcia Toledo- Variance:** The applicant is requesting a variance from City of Goldsboro Unified Development Ordinance, Section 5.2 General Setback, Height and Area Standards and Section 5.3 Conventional District Dimensional Tables and Standards, to allow for requesting a variance of the minimum lot area and setback requirements of the R-6 Zoning District. The property considered for approval is located on the West side of Poplar Street between East Elm Street and East End Circle and further identified as Wayne Co. Pin# 3509-22-4259.

All interested persons are encouraged to attend. To accommodate disabilities and to comply with ADA regulations, please contact City Hall if further assistance is needed. All inquiries regarding this matter may be directed to the City of Goldsboro Planning Department at (919) 580-4313 or online at [www.goldsboronc.gov](http://www.goldsboronc.gov).



PLANNING DEPARTMENT  
Mark E. Helmer, AICP, Planning Services Manager

ADJOINING PROPERTY OWNERS CERTIFICATION

I, Mark E. Helmer, hereby certify that the property owner and adjacent property owners of the following petition, BOA-03-26, were notified by first class mail on 04-16-26.

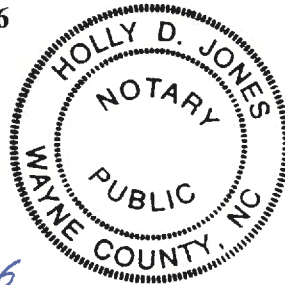
Mark E. Helmer  
Signature

Wayne County, North Carolina

I, Holly D Jones, Notary Public for Wayne County and State of North Carolina do hereby certify that Mark E. Helmer personally appeared before me on this day and acknowledged the due execution of the foregoing instrument. Witness my hand and official seal, this the

16<sup>th</sup> day of April, 2026

Holly D Jones  
Notary Public Name



My Commission expires on July 29, 2026  
(Seal)

**CITY OF GOLDSBORO  
AGENDA MEMORANDUM  
APRIL 27, 2026 PLANNING COMMISSION/BOARD OF ADJUSTMENT MEETING**

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**TITLE:** CZ-01-26 - Tucker Trace (Highway Business/Residential-16 to Residential-6/General Business Conditional Zoning) – South side of Tommy’s Road, between US Hwy. 117 North and Deans Lane (Continued from March 30, 2026)

**DEPARTMENT:** Planning

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**BACKGROUND:**

Initially, the applicant requested a change of zone from the Highway Business/Residential-16 to Residential-6/General Business Conditional Zoning District to construct a new mixed-use development consisting of 120 single-family detached residential lots and 4 commercial lots within the corporate limits of Goldsboro in September of 2025. The Council continued the public hearing on November 3, 2025 and on January 5, 2026. Applicant requested to withdraw their application for conditional rezoning and City Council approved the withdrawal request on February 9, 2026.

At the March 30, 2026 Planning Commission Meeting, members voted to continue the discussion to the April 27, 2026 Meeting.

Per NCGS 160D-102, a conditional zoning request is a legislative zoning map amendment with site-specific conditions incorporated into the zoning map amendment.

**Project Description**

If a petition for conditional zoning is approved, the development and use of the property shall be governed by the ordinance requirements of the parallel Residential-6 and General Business Zoning Districts except those superseded by specific conditions, the approved concept plan, and any additional approved rules, regulations, and conditions, all of which shall constitute the zoning regulations for the approved district, and are binding on the property as an amendment to these regulations and to the Official Zoning Map. Should the applicant deviate from the minimum requirements of the proposed Residential-6/General Business Conditional Zoning Districts, the deviations shall be identified on the concept plan for Council approval. Deviations are included in this staff report.

The majority of the site is vacant and used for agricultural-related purposes. An existing stream tracks near the northern and eastern property boundaries. This stream is flanked by a 50 ft. Neuse River Basin riparian buffer.

An existing 195 ft. in height cell tower is located on lot #142 which is at the northeast corner of the proposed subdivision and is served by a 30 ft. ingress/egress and utility easement off Deans Lane.

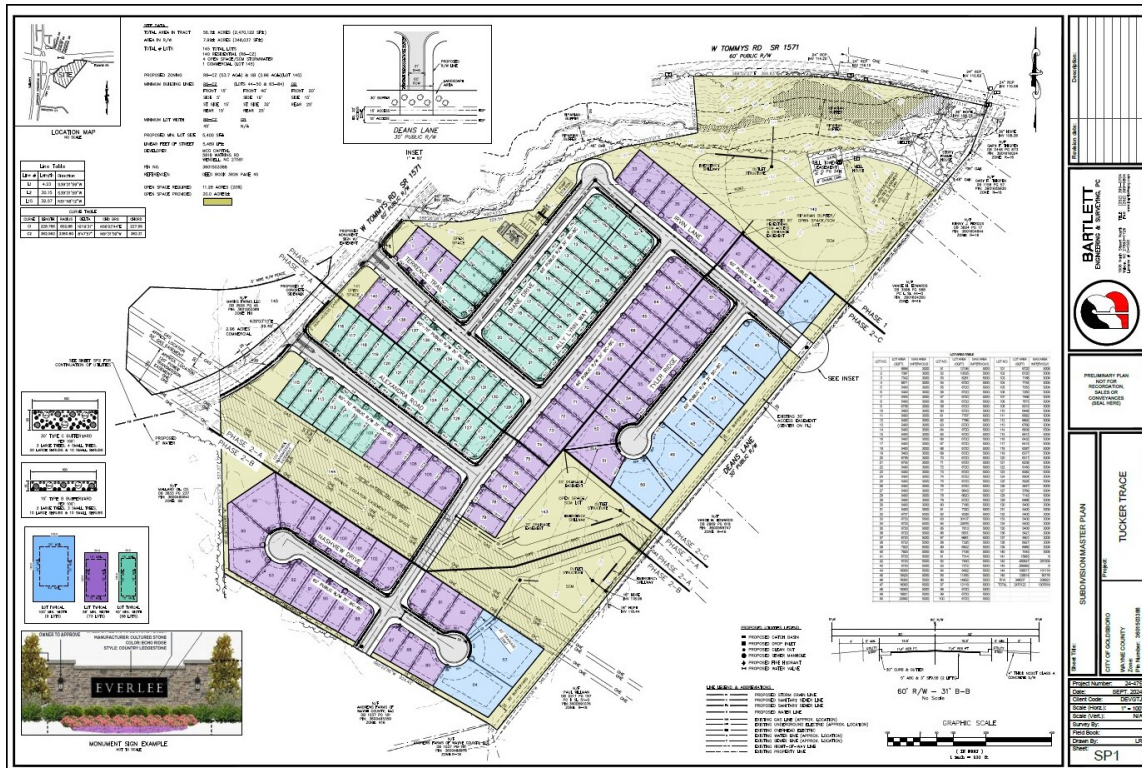


The property is identified as within the Medium-Density, Mixed-Use I and Mixed-Use II land use category. Medium and High-Density Residential land uses have been designated for areas that have water or sewer service or where plans exist to extend water or sewer service. Although the requested Residential-6 Conditional Zoning District is not a corresponding zoning district in the Medium Density land use category, Goldsboro's Comprehensive Land Use Plan encourages higher density development where City water and sewer services are available.

Mixed-Use I and II land use categories will allow a mixture of commercial uses some of which may or may not have an impact on or produce some conflict with adjacent lower density districts. Office and Institutional usage is recommended as a buffer/transition between lower and higher density land uses.

**DISCUSSION:**

The applicant is requesting a change of zone for the subject property from the Highway Business/Residential-16 to Residential-6/General Business Conditional Zoning District to construct a residential subdivision consisting of 140 lots and 1 additional lot for commercial use.

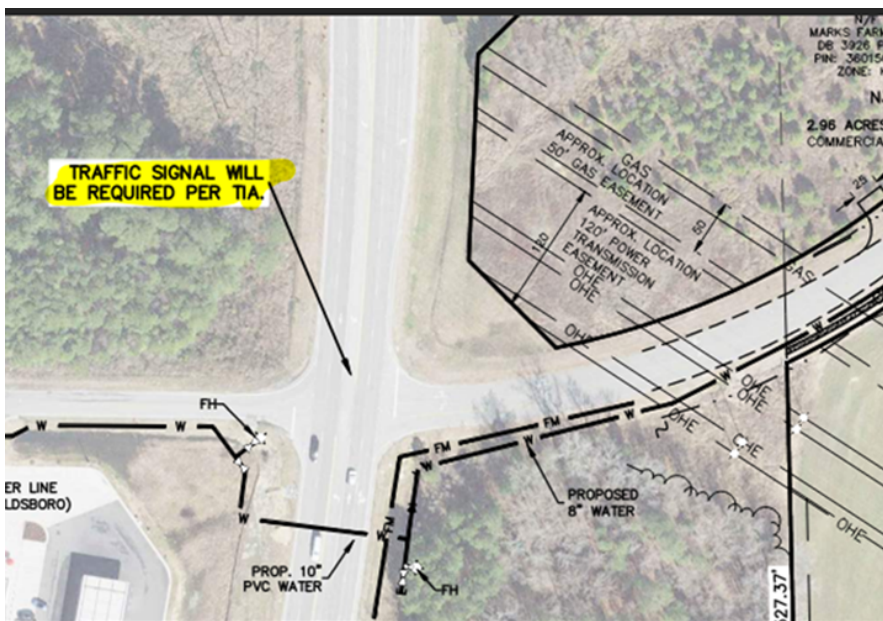


**Site Access** will be provided by three full movement driveways on Tommy's Road (one north of Tommys Road for access to the outparcel and two south of Tommys Road for access to the residential portion) as well as one full movement driveway on Deans Lane. According to NCDOT, no roadway improvements will be required for the proposed subdivision.



**Interconnectivity** has been identified along the eastern and southern property boundaries. 4 ft. wide internal handicap accessible sidewalks will be provided on one side of the streets connecting residential dwellings to other destinations such as active and passive open spaces to include playgrounds, mail kiosks and other site amenities. One stub street will provide future access to properties to the Southwest, and one stub street will provide future access to properties to the Southeast.

The applicant conducted a traffic assessment at the intersection of Highway 117/North William Street at Tommy's Road and determined that a traffic signal is warranted regardless of future development and has committed to the installation of this signal should the project be approved by City Council. The applicant is currently working with NCDOT to determine the scoping of a TIA regarding the proposed development.



**Phased Development:** If approved, the proposed 140-lot residential subdivision will begin a 4-

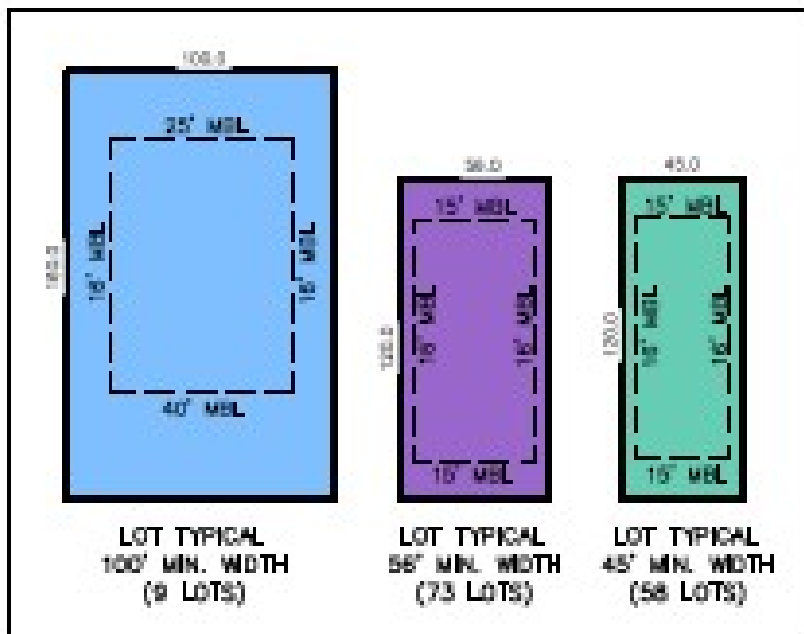
phase construction schedule to start in January 2027.

- Phase 1: Lots 1-39, 62-74, 129-140
- Phase 2-A: Lots 75-79, 104-128
- Phase 2-B: Lots 80-103
- Phase 2-C: Lots 40-61

Density will equal 140 units/56.76 acres = 2.47 dwelling units/per acre

**Proposed Lot Dimensions and Setbacks:**

	R-6CZ:	lots 44-50& 83-84	GB:
Min. lot size:	5,400 sq. ft.	16,000 sq. ft.	N/A
Min. lot width:	45 ft.	45ft.	N/A
Min. front setback:	15ft.	40ft.	20 ft.
Min. side setback:	5 ft.	16ft.	15 ft.
Min. side corner setback:	15 ft.	32ft.	N/A
Min. rear setback:	15 ft.	25ft.	25 ft.
Max. building height:	2 stories	2 stories	N/A

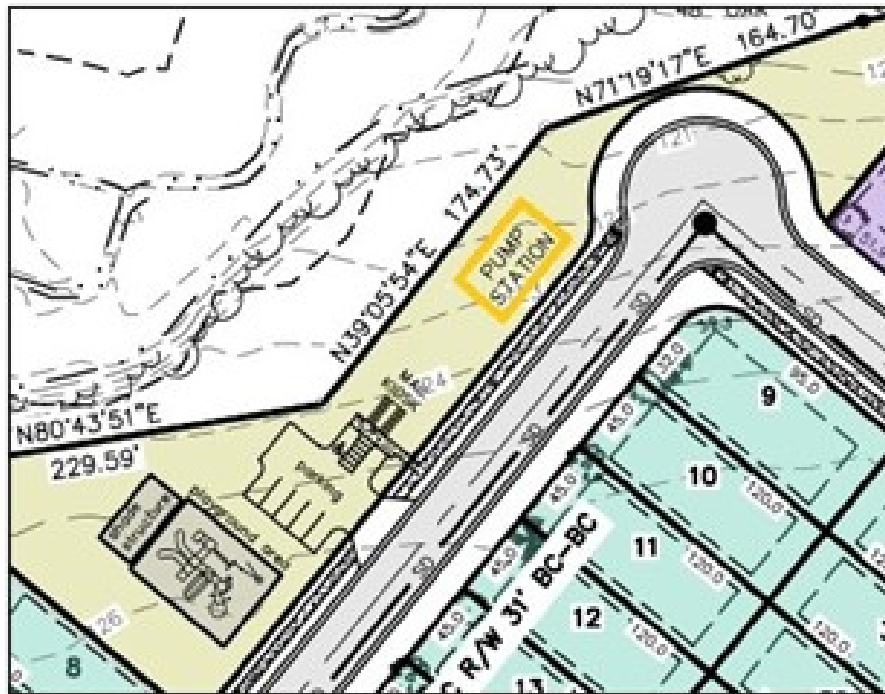


**Open Space** will be provided by active and inactive open space totaling 20 acres; approximately 35% of the gross site area. Open spaces will include playgrounds, mail kiosks, and walking trails, passive green space, and required buffer area spaces. All open spaces will be held in common ownership, for the perpetual benefit of residents of the development by a HOA (Homeowners Association).



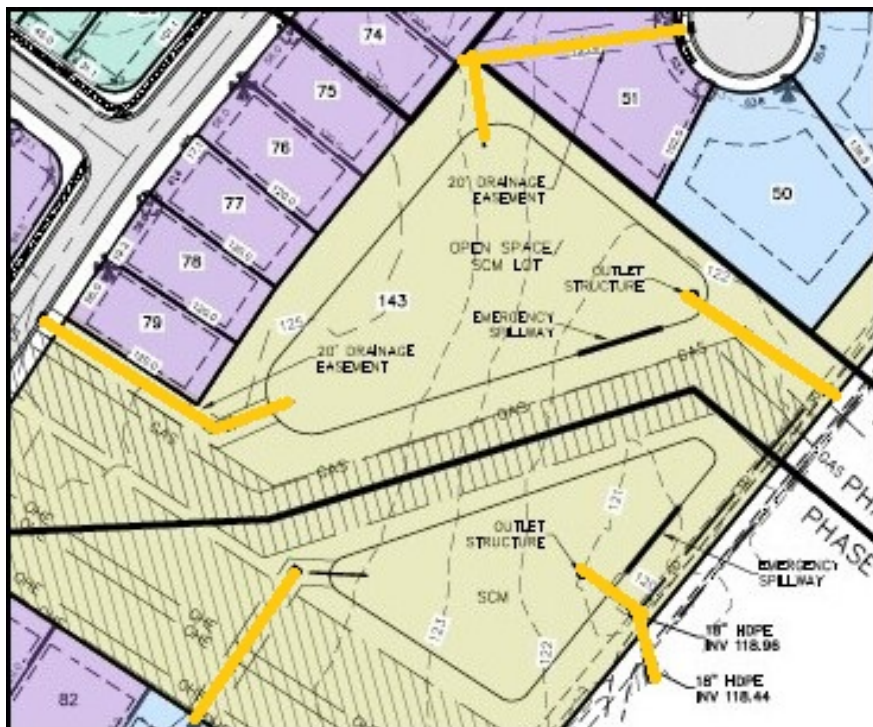
**Parking required** for the Residential portion will be 2 spaces per single-family household (140) = 280 spaces. Required parking spaces for the Commercial lot will be determined at the time of development.

**Public Utilities** will be extended to the site by the developer from US HWY 117 (N William Street) directly west from the proposed subdivision. A pump station will discharge the collected sewer. All utilities will be required to be installed underground.



A **Stormwater Management** plan has been submitted, and facilities are proposed for all streets, driveways and parking/loading areas. Stormwater control ponds have been identified throughout the subdivision per the city's UDO and state regulations. All will be accessed by utility

easements granted to the City of Goldsboro for inspection purposes by Engineering staff.



**Proposed public/private infrastructure:**

- Roadways: 5,680 +/- linear ft. (Public)
- Water mains: 6,860 +/- linear ft. (Public)
- Sewer mains: 5,600 +/- linear ft. (Public)
- Sidewalks: 3,200 linear ft. (Public)

**Streets:** The developer will be responsible for the construction of 60 ft. wide streets with pavement widths of 31 ft. back-to-back in accordance with City standards.

**Subdivision signage:** Street signs and lighting will be provided for the subdivision in accordance with City standards. One (1) monument sign is proposed to be located at the entrance of the subdivision. The sign will be required to be located on private property, as well as not be located within sight triangles obstructing views of the motoring public.



**Landscaping:** The applicant has submitted a landscape plan that meets and exceeds the City's landscape ordinance. A 15 ft. wide Type B landscape buffer will be installed adjacent to the western and southern property lines of the proposed development. A 30 ft. wide Type C buffer yard will be installed between the development and the property to the southeast. Each residential lot will have one large tree installed in the front yard. Lastly, landscape medians will be provided along both entrances to the new subdivision; Terrence Trail and Alexandra Road.

**Building elevations** have been submitted by the applicant. Each dwelling unit will be built in accordance with the North Carolina State Building Code. Proposed home plans to include the Chadwick, Davidson, Madison, Morgan, Clayton and the Oakley.

Sagecroft | Hanover Collection  
THE CHADWICK



Sagecroft | Hanover Collection  
THE DAVIDSON



Maple Ridge | Crown Collection  
THE MADISON



Saddle Ridge | Crown Collection  
THE MORGAN



Annandale | Summit Collection  
THE CLAYTON III



Triple Crown | Hanover Collection  
THE OAKLEY II



**TRC REVIEW:**

If the rezoning is approved, the development proposal will require a TRC review. Site plan approval will be required before improvements can be authorized for the site and building permits are issued.

**CONDITIONS OF REZONING:**

The applicant has proposed the following as CONDITIONS for the requested Residential-6 Conditional Zoning District approval:

1. Building height 2-stories, maximum.
2. Shutters or window trim shall be provided on the front façade on all homes.
3. The front facades of all homes will feature a minimum two (2) architectural features (from the following list):
  - a. Horizontal siding
  - b. Board & Batten siding
  - c. Shake siding
  - d. Stone accent
  - e. Brick accent
  - f. Balcony
  - g. Columns
  - h. Covered porch entry
4. All slab foundations with an exposed height of greater than 12 inches shall be finished with masonry product - applies to front and side elevations with right of way frontage.

5. Any cantilevered projection shall have cosmetic brackets, or shelf supports directly underneath them.
6. All windows within a street facing facade utilizing siding materials shall either be set in full 4" trim at least equivalent to 1-inch x 4-inch board or feature decorative sills and pediments.
7. All windows of a dwelling unit, except for accent windows, picture windows, transoms, and bay windows, shall feature a common muntin pattern colonial pattern in half of each window.
8. All dwelling units shall have either a 2-car garage or a 1-car garage.
9. Garage doors shall have windows or decorative hardware.
10. A covered front porch is required for all dwelling units.
11. A minimum 6-feet deep outdoor patio shall be provided on all dwelling units.
12. All homes shall have minimum 12-inch eaves on two sides.
13. All corner lot units shall have a minimum of one window, facing the public right-of-way.
14. To ensure visual variety and maintain aesthetic appeal, no home will feature the same exterior siding and trim color combination as a house directly adjacent or directly across the street from it.

Additional CONDITIONS for the Residential-6/General Business Conditional Zoning District:

1. Applicant will complete a Traffic Impact Analysis, as scoped by NCDOT, and construct any required improvements subject to approval by NCDOT.
2. On-site stormwater control measures will be designed to capture and treat the 100-yr storm.
3. Developer shall install a signal at the intersection of Tommy's Road and North William Street, subject to approval by NCDOT.
4. Developer shall install a 30' landscape buffer yard adjacent to Dean's Lane.

**BUDGET RELATIONSHIP:**

N/A

**STRATEGIC PLAN RELATIONSHIP:**

N/A

**STAFF RECOMMENDATION:**

Staff is recommending approval of the conditional rezoning request since the proposed zoning and land use is compatible with the Comprehensive Land Use Plan and Land Use Plan Map. In addition, the City of Goldsboro will be able to provide sufficient public safety and meet transportation and utility demands for the subject property while maintaining sufficient levels of service to existing developments. Staff believe that the proposed rezoning will not impair or injure the health, safety and general welfare of the public. Lastly, the proposed conditional zoning and land use request will address Goldsboro’s housing shortage, offering increased housing options and affordability while providing economic, social and environmental benefits that enhance residents and their quality of life.

**REQUIRED ACTION:**

Refer to the attached worksheet and review the consistency and inconsistency statements. Planning Commission shall vote to adopt one of these statements and form a recommendation for approval or denial that staff shall present to City Council at the June 1, 2026, meeting.

**MANAGER'S RECOMMENDATION:**

---

**APPROVERS**

Mark Helmer  
April Choice

**CONDITIONAL ZONING APPLICATION**

Development Name **Tucker Trace**

Proposed Use **Single-family Residential**

Project location or address **296 Tommy's Rd**

Property Identification Number(s) and Tax ID Number (s) for each parcel to which these guidelines will apply:

PIN#	3601503388	TAX ID#	06E06000005020 A

Project type?  Single Family  Townhouse  Multi-Family  Non-Residential  PUD/Mixed Use

**PROPERTY OWNER INFORMATION**

Name **Marks Farms, LLC**

Address **5818 Watkins Rd, Wendell, NC 27591**

Phone 984-██████████

Email ██████████@mcandg.com

**OWNER/DEVELOPER INFORMATION**

Company Name **Marks Farms, LLC**

Contact Name **Matt Botzum**

Address **5818 Watkins Rd, Wendell, NC 27591**

Phone 919-██████████

Email ██████████@marksclearingandgrading.com

**CONSULTANT/ENGINEERING FIRM**

Company Name **Bartlett Engineering & Surveying, PC**

Contact Name **Robert Bartlett**

Address **1906 Nash St N, Wilson, NC 27893**

Phone 252-██████████

Email ██████████@bartletteng.com

**ZONING INFORMATION**

Existing Zoning District **HB and R-16**

Proposed Zoning District **R6-CZ & GB**

If more than one district, provide the acreage of each: **R6-CZ (53.7) GB (2.96)**

Overlay District?  Yes  No

Inside City Limits?  Yes  No

## ENVIRONMENTAL QUALITY DATA INFORMATION

Existing Impervious Surface acres/sf <0.5 acres	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface acres/sf 22+/- acres	Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Watershed Protection Area N/A	Wetlands <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
FEMA Map Panel 3720360100K	Base Flood Elevation N/A

## SITE DATA

Total # of single-family lots 140	Total densities per zoning district 2.35 residential units per acre
Total # of townhouse lots 0	Acreage in active open space 2.5
Total # of all lots 140	Acreage in passive open space 14
Linear feet of new roadways 5,500+/-	Linear feet of new sewer mains 5,500+/-
Linear feet of new water mains 6,670+/-	Linear feet of new sidewalks 3,000+/-
Proposed sewer allocation 42,000 GPD	Linear feet in new trails To be determined

## SIGNATURE BLOCK (Applicable to all Developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed plan as approved by the City.

I hereby designate Bartlett Engineering & Surveying, PC (Robert Bartlett) to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project conforms to all application requirements applicable with the proposed development use.

	2/20/26
Signature	Date
Signature	Date

## APPLICATION FEES

Conditional Zoning (4 paper copies & digital copies of all required plans and applications) \$550

OWNER AUTHORIZATION

I hereby give CONSENT to Bartlett Engineering & Surveying (Robert Bartlett) (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge of the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate, or incomplete information provided by me, or my agent, will result in the denial, revocation or administrative withdrawal of this application, request, approval or permit. I acknowledge that additional information may be required to process this application. I further consent to the City of Goldsboro to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions which may be imposed as part of the approval of this application.

Signature of Owner [Handwritten Signature] Printed Name of Owner Tyler Marks

NC  
(State)  
Wake  
(County)

I, Ashley Renee Collins, a Notary Public in and for said County and State, do hereby certify that Tyler Marks personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and notarial seal this the 20<sup>th</sup> day of February 2026.

Notary Public: Ashley Renee Collins

(Printed Name)  
Ashley Renee Collins  
(Signature)



County of Commission: Franklin

Commission Expires: May 24, 2028

## PROJECT NARRATIVE

As part of a complete application, a written project narrative that provides detailed information regarding your proposal must be included. On a separate sheet of paper, please address each of the lettered items listed below (answers must be submitted in both hard copy and electronic copy using the Adobe .PDF or MS Word .DOCX file formats):

- 
- A listing of contact information including name(s), address(es) and phone number(s) of: the owner of record, authorized agents or representatives, engineer, surveyor, and any other relevant associates;
- 
- A listing of the following site data: Address, current zoning, parcel size in acres and square feet, property identification number(s) (PIN), and current legal description(s);
- 
- A listing of general information including: the proposed name of the subdivision, the number of proposed lots, acreage dedicated for open space or public use, acreage dedicated within rights of way;
- 
- A statement showing the proposed density of the project with the method of calculating said density shown;
- 
- Discuss proposed infrastructure improvements and phasing thereof (i.e. proposed roadways, sewer systems, water systems, sidewalks/trails, parking, etc.) necessary to serve the subdivision; length of each, expected sewer allocation.
- 
- A narrative addressing concerns/issues raised by neighboring properties (discussing your proposal with the neighboring land owners is recommended to get a sense of what issues may arise as your application is processed);
- 
- A description of how conflicts with nearby land uses (livability, value, potential future development, etc.) and/or disturbances to wetlands or natural areas are being avoided or mitigated;
- 
- Provide justification that the proposal will not place an excessive burden on roads (traffic), sewage, water supply, parks, schools, fire, police, or other public facilities/services (including traffic flows) in the area;
- 
- A description of proposed parks and/or open space. Please include a brief statement on the proposed ownership and maintenance of said areas;
- 
- A proposed development schedule indicating the approximate date when construction of the project, or stages of the same, can be expected to begin and be completed (including the proposed phasing of construction of public improvements and recreational and common space areas).
- 
- List of deviations from the town's minimum UDO requirements.
- 
- List of improvements that exceed the town's minimum UDO requirements.
- 
- Expected sales, rental prices
- 
- Architectural standards if applicable.

## INFORMATION TO BE PROVIDED ON PLAN

The City of Goldsboro Site Plan Requirements can be found in Appendix A of the Unified Development Ordinance. Site plans shall contain the following information, if applicable, as determined by the Planning Director:

- Preferred sheet size is 24" x 36" for site plans (maximum sheet size of 30" x 42"); if more than one sheet, all sheets should be numbered; should be the same size and scale; and should show match lines, along with an index sheet.
- Submittals should also be made in digital PDF file format.
- The site plan shall be prepared by a professional engineer, registered land surveyor, or licensed architect.
- Engineer's scale – no smaller than 1" = 100' for Site Plans unless approved by staff. Larger scale showing more detail is better. Include both a graphic scale and a numeric scale. The site plan shall be based on the latest tax map information and shall be of a size as required by each individual site plan.
- North arrow or compass rose.
- Date (original and all revisions) should be shown on all sheets.
- A vicinity map of the site with reference to surrounding areas and existing street locations.
- The name and address of the owner and site plan applicant, together with the names of the owners of all contiguous land and of property directly across the street as shown by the most recent tax records  Proof of ownership - Deed book and page reference demonstrating ownership of property.
- Parcel Identification Numbers (PIN) for site and adjacent properties.

### Existing Conditions:

- The total area (acreage), and the exterior boundary of all land included in the request for approval (defined by meets and bounds, with the source of all boundary information referenced). All adjoining property lines should also be shown.
- Location of all existing structures, including their outside dimensions and elevations, streets, entrances, and exits on the site, on contiguous property, and on property directly across the street.
- Required setbacks, setback lines, or typical lots.
- Location, width and identification of all existing easements (public and private), defined by centerline bearings, distances and ties to property corners (with standard notes).
- Location of existing watercourses, ponds, flood zones, water supply watershed areas, and riparian buffers.
- Show all existing physical features, including existing trees greater than eight (8) inches in diameter measured four and one-half (4.5) feet above ground level include the tree line of wooded areas and individual trees eight (8) inches in diameter or more, identified by common or scientific name, and significant soil conditions.
- Topography showing existing contours at no greater than ten (10) foot intervals. All reference benchmarks shall be clearly designated.
- Existing zoning of the property, including zoning district lines where applicable.
- Location of existing sanitary waste disposal systems, water mains and appurtenances (including fire hydrants) on or adjacent to the parcel.

- Other utility lines both under- and above-ground, including electric power, telephone, gas, cable television  Existing open space and any other common areas.
- Existing parking and loading areas.

### Proposed Conditions:

- All proposed streets, drives, parking areas, fire lanes and access, loading and unloading areas with dimensions, traffic patterns, access aisles, and curb radii.
- The total quantity of parking spaces required, and the total quantity of parking spaces provided. Indicate uses of buildings.
- Sight distance triangles (minimum 10' by 70' for driveway intersections at ROW lines; or as per NCDOT requirements).
- Location of all proposed structures, including their outside dimensions and elevations, streets, entrances and exits on the site.
- Sidewalks, trails and other pedestrian ways with locations, dimensions, and surfacing, including handicap curb cuts. Internal sidewalks and/or other proposed means of pedestrian access (note: internal pedestrian access should connect with public ROW sidewalk).
- General location and design of proposed sanitary waste disposal systems, water mains and appurtenances (including fire hydrants) on or adjacent to the parcel, as applicable.
- Proposed other utility lines both under- and above-ground, including electric power, telephone, gas, cable television.
- Location of all US Clean Water Act Section 404 wetland areas, detention/retention ponds (Best Management Practices), riparian buffers and impervious surface areas with area dimensions, and ratios of impervious surface to the total size of the lot.
- Location of all proposed common areas.
- All parcels of land proposed to be designated, dedicated and/or reserved, for public or private use, shown with total land area and boundary descriptions.
- Distance between buildings and height of buildings.
- Building locations, footprints, entrances area by floor (sq.ft.), finished floor elevation (first).
- Location, dimensions, and details of signs per the requirements of Article 10, Part III.
- Proposed building elevations and floor plans, if applicable.
- Conceptual traffic impact analysis.
- Conceptual grading plan: proposed contours with a maximum of two-foot contour intervals within 100 feet of all buildings and along all driveways, entrances, exits, private streets, parking areas, loading areas, retaining walls and a maximum of ten-foot contour intervals for the remainder of the property. Supplement with spot elevations where necessary. All topography should be referred to permanent benchmarks and referenced to accepted datum.
- Conceptual stormwater management provisions.
- Total impervious surface square footage and percentage calculations for all development.
- Conceptual site lighting plan:

- Dumpster (or any other trash handling facilities) location, proposed screening labeled with height material, dimensions of concrete pad and details of gates, including support. Any dumpster to be used for recycling should be labeled as such.
- Landscape Plan: Include the genus and species, common name, quantity, size and location of all plant material proposed to meet Article 6.3, Landscaping, Screening and Buffer Standards. The plan must include a "plant list" (in chart form), which should be coded to the plan. Show all calculations used to determine the quantity of plants required. All proposed plantings should be coordinated with both the utility plan and the grading/storm drainage plan to eliminate conflicts. No landscaping allowed in water or sewer easements.
- Description of all fences, walls and/or berms used to fulfill landscaping or screening requirements with details and cross sections as needed (all fences over 6 feet must be sealed by a licensed Engineer).

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## **PROJECT NARRATIVE**

### **Tucker Trace Subdivision (R-6 CZD)**

#### **I. CONTACT INFORMATION**

##### **Owner of Record**

Name: Marks Farms, LLC

Address: 5818 Watkins Rd, Wendell, NC 27591

Phone: 984-983-3478

##### **Authorized Agent/Representative**

Name: Robert Bartlett

Firm: Bartlett Engineering & Surveying, PC

Address: 1906 Nash St N, Wilson, NC 27893

Phone: 252-399-0704

##### **Engineer**

Name: Robert Bartlett

Firm: Bartlett Engineering & Surveying, PC

Address: 1906 Nash St N, Wilson, NC 27893

Phone: 252-399-0704

##### **Surveyor**

Name: Tony Bartlett

Firm: Bartlett Engineering & Surveying, PC

Address: 1906 Nash St N, Wilson, NC 27893

Phone: 252-399-0704

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#### **II. SITE DATA**

- **Site Address:** 296 Tommy's Rd
  - **Current Zoning:** HB & R-16
  - **Parcel Size:** 56.76+/- acres
  - **Property Identification Number(s) (PIN):** 3601503388
  - **Legal Description:** DB 3926 P 45
-

### III. GENERAL INFORMATION

- **Proposed Subdivision Name:** Tucker Trace
  - **Number of Proposed Lots:** 140 Single-Family Residential Lots, 1 Commercial Lot (145, across W. Tommy's Rd)
  - **Open Space/Public Use Area:** 20 acres
  - **Area within Rights-of-Way:** 7.99 acres
- 

### IV. PROPOSED DENSITY

- **Total Number of Lots:** 140 Single-Family Residential
  - **Total Site Acreage:** 56.76 acres
  - **Proposed Density:** 2.47 units per acre
  - **Method of Calculation:**
    - Total Lots ÷ Net Developable Area (Excludes commercial lot area.)
- 

### V. INFRASTRUCTURE IMPROVEMENTS AND PHASING

#### Roadways:

- Total length of new roadway is 5,680+/- LF. Roadways to be constructed in 60' public right-of-way with 31' width from back of curb to back of curb.

#### Water System:

- An 8" public water main will be extended from the nearest existing line on US HWY 117 (William St) and continue along (SR 1571) Tommy's Rd across the property frontage.
- 8" and 6" water mains will be installed throughout the subdivision with valves, hydrants, and services in accordance with City of Goldsboro and NCDEQ requirements.
- The total length of the proposed water system is approximately 6,860 LF.

#### Sewer System:

- The proposed sanitary sewer system will include 5,600+/- LF of 8" gravity sewer with manholes and services. A pump station will discharge the collected sewer through 2,075+/- LF of appropriately sized force main to the nearest existing gravity sewer along US HWY 117 (William St).
- Expected Sewer Allocation is estimated at 43,200 GPD. This estimate is based on 140 residential lots at 300 GPD each and 1 commercial lot at 1,200 GPD.

**Stormwater:**

- Stormwater run-off will be collected by catch basins in the street curb and yard inlets. Collected stormwater will be piped to wet pond SCMs.
- At least two and possibly three wet ponds will be utilized to control peak flow and reduce nutrients to comply with City of Goldsboro and State regulations.

**Sidewalks/Trails:**

- 4' wide sidewalks will be provided on one side of each street for a total of approximately 3,200 LF of sidewalk.
- Pedestrian egress easement will be provided from the sidewalks on the public right-of-way to all open space areas.

**Parking:**

- Off-street parking will be provided in driveways for each residential lot.
- Off-street parking for commercial lots will be planned and provided based on the use at the time of individual lot development.

**Phasing:**

- Phase 1: Lots 1-39, 62-74, 129-140
- Phase 2A: Lots 75-79, 104-128
- Phase 2B: Lots 80-103
- Phase 2C: Lots 40-61
- All utility and road improvements will occur prior to final plat recording for each phase.

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**VI. NEIGHBORHOOD ENGAGEMENT**

A neighborhood information meeting was held on December 3, 2025 with homeowners along Deans Lane. Residents raised concerns in the following areas: stormwater management and downstream flooding impacts, traffic generation, and development density adjacent to existing homes. The following is a summary of the specific concerns raised and the applicant's response:

Stormwater: Residents requested that stormwater control measures (SCMs) be designed to the 100-year storm event rather than the City of Goldsboro minimum. In response, the applicant has committed to designing SCMs to the 100-year storm event standard. Stormwater details including downstream analysis and spillway locations will be addressed during the construction document phase.

Traffic: A Traffic Impact Analysis (TIA) was conducted and has been provided to the homeowners' attorney for review. The TIA found that a traffic signal is warranted at the intersection of Tommy's Road and North William Street regardless of future development, and the applicant has committed to installation of this signal. Residents also inquired about removal of the proposed road stub on Deans Lane; the revised plan terminates the road stub prior to the existing egress path with landscaping provided between the stub and the path.

Density: Residents expressed a preference for maintaining R-16 zoning density along the shared property line. In response, the applicant made the following revisions to the site plan: the number of lots abutting the Deans Lane property line was reduced to 10, and those lots were enlarged to meet R-16 district standards (minimum 16,000 SF). Commercial lots adjacent to the neighborhood were removed from the plan, and buffer yards along the eastern property line were increased. Over half the length of the shared property line will remain as open space. A 30' wide buffer yard is provided along Deans Lane.

The applicant is actively coordinating with the neighboring property owners' attorney to schedule a second neighborhood meeting in early March 2026 to present the revised site plan, deliver the requested materials, and address any remaining concerns.

The adjacent property to the north is the public right-of-way for Tommy's Rd and US HWY 70/I-42; therefore, no concerns are anticipated.

The adjacent property to the west is a small undeveloped commercial lot along US 117 (N William St); therefore, no concerns are anticipated.

The adjacent property to the south is farmland. Contact has not yet been made with the owner, but the developer is willing to address any concerns they may have.

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## VII. LAND USE COMPATIBILITY / ENVIRONMENTAL PROTECTION

- **Compatibility:** The development aligns with adjacent residential zoning and land use patterns.
  - **Livability & Value:** Architectural standards and open spaces enhance long-term property value and neighborhood appeal.
  - **Wetlands/Natural Areas:**
    - Wetland areas have been identified and avoided.
    - Open space is provided adjacent to stream buffers to preserve sensitive ecological zones.
-

## VIII. PUBLIC SERVICES IMPACT

- **Roads:** A traffic trip generation calculation concludes that the added trips will be less than 3,000 trips per day and therefore a formal traffic impact analysis is not required. Although not required, applicant conducted a formal TIA. The TIA found that a signal is needed at the intersection of Tommy's Road and North William Street regardless of future development. Applicant has committed to installation of this signal.
  - **Sewer/Water:** The site is within the municipal service area with capacity confirmed by preliminary utility review.
  - **Schools:** Property is within Tommy's Rd ES, Norwayne MS and Aycock HS districts. Data for projected enrollment impact is not readily available.
  - **Fire/Police:** The site is within standard service radius of emergency services; no additional burden is expected.
  - **Parks:** Dedicated open space exceeds minimum parkland requirements.
- 

## IX. PARKS / OPEN SPACE PLAN

- **Dedicated Open Space: 20 acres of dedicated open space are being provided, including walking trails, passive recreation areas, stormwater green space, and buffer areas.**
  - **Ownership/Maintenance:** Open space will be owned and maintained by the HOA, established at the time of platting.
- 

## X. DEVELOPMENT SCHEDULE

- **Phase 1 Construction Start:** January 2027
  - **Phase 1 Completion:** January 2028
  - **Full Buildout Expected:** July 2030, depending on market demand
  - **Public Improvements Timeline:** Concurrent with each phase
  - **Recreational/Common Areas:** Built in tandem with the phase they serve.
- 

## XI. REQUESTED DEVIATIONS FROM UDO

- The proposed development appears to be in compliance with the UDO requirements.
- 

## XII. IMPROVEMENTS EXCEEDING UDO MINIMUMS

- The proposed open space exceeds the UDO minimum requirements.

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### **XIII. ANTICIPATED SALES PRICES**

- **Sales Prices:** Expected range \$275,000 – \$335,000
- 

### **XIV. ARCHITECTURAL STANDARDS**

- All homes to meet the following standards:
    - Minimum heated square footage: 1,600 sq. ft.
    - Minimum three bedrooms
    - Two-story design
    - Front porches and garages
-





# NCDOT Traffic Impact Analysis Need Screening / Scoping Request



- The proposed site access is located within 1,000 feet of an interchange.
- The Applicant requests for a new or modified control-of-access break.
- The Applicant requests for a new or modified median break.

Applicant's Signature	Gabe Bucklen Print Name	3/12/26 Date
-----------------------	----------------------------	-----------------

**Site Plan/Vicinity Map Requirement for TIA Need Screening:** While the site plan may not be finalized during the TIA scoping stage, the graphic representation of the proposed development shall provide adequate details on the development scope and context. More specifically, the site plan/map shall clearly show the location and type of each access point, spacing to adjacent and opposing driveways or intersections, internal street network, proposed buildings/parcels with their anticipated uses and sizes at full build-out and, if applicable, any nearby interstate, US, NC or Secondary Roads (SR).

**Project Name:** Tucker Trace                      **Project Reference Number:** \_\_\_\_\_

- A TIA is Required by the Local Government.** In addition, the study area is expected to include NCDOT maintained transportation facilities.
- A TIA is Required by NCDOT,** per the [Policy on Street and Driveway Access to North Carolina Highways](#).

If either or both of the boxes above are checked, the Applicant/TIA Consultant is hereby requested to fill out as much as possible of the following TIA scoping checklist, and return it along with the supporting documents to NCDOT prior to the scoping meeting.

- A TIA is NOT required.** This decision is based on the development information presented above. Changes in the development plan will require re-evaluation of the TIA need, and may necessitate a TIA. The Applicant should inform the District Engineer of any significant changes in a timely fashion to avoid delays or rejections of the driveway permit / encroachment agreement applications.



# NCDOT Traffic Impact Analysis Need Screening / Scoping Request



### Additional Comments:

The TIA need decision is made by the NCDOT Division \_\_\_\_\_ District \_\_\_\_\_ on \_\_\_\_\_.

\_\_\_\_\_  
NCDOT District Representative's Signature

\_\_\_\_\_  
Print Name

Email concurrence may be used in lieu of the signature.



# NCDOT TIA Scoping Checklist



**Project Name:** Tucker Trace

**TIA Scoping Date:** \_\_\_\_\_

**TIA Need Screening Forms are Attached.** Project Reference #: \_\_\_\_\_ Decision Date: \_\_\_\_\_

**Site Plan and Access**

Provide a site plan illustrating site access, internal and external roadways, buildings and land uses.  
Refer to NCDOT's [Policy on Street and Driveway Access to North Carolina Highways](#) pages 14 and 15 for site plan requirements.

Identify site access.

New Access	On Road	Access Type		Driveway Spacing		
	Road Name	Permitted Movements	Traffic Control	Distance (ft)	Direction	Nearest Intersection / Access
Access A	US 117/N William	RIRO	2-Way Stop	430	South	US 117/Tommys Rd
Access B	Tommys Road	Conventional Full-Mvmt	2-Way Stop	180	East	US 117/Tommys Rd
Access C	Tommys Road	Conventional Full-Mvmt	2-Way Stop	500	East	Access B/Tommys
Access D	Tommys Road	Conventional Full-Mvmt	2-Way Stop	345	East	Access C/Tommys
Access E						
Access F						
Access G						
Access H						
Existing Access	Existing Intersection of		Access Modification	Proposed Interconnectivity (If Applicable)		
	Road A	Road B		Connector #	Road Connected	Adjacent Development
Access 1			Please Select	Connector 1		
Access 2				Connector 2		
Access 3				Connector 3		
Access 4				Connector 4		

- Additional access clarifications and provisions (e.g., proposed control-of-access or median breaks, modifications of existing access, loading/unloading area access, bike/pedestrian accommodation).
- 

**Proposed K-12 School Site**

- NCDOT [MSTA School Traffic Calculator](#) for Select School Type shall be used.
- Peak Hour Factors (PHFs) shall be adjusted/weighted for new school trips (0.5 PHF by default).
- Internal school circulation analysis is required, and should be submitted in advance or concurrent with the TIA submittal.
- Clarify traffic operation plans (e.g. traffic circulation pattern, pedestrian access, drop-off/pick-up zone location and configuration, queue storage area and, if applicable, staggered start times).



# NCDOT TIA Scoping Checklist



**Trip Generation**

The TIA Consultant shall prepare trip generation estimates following the current [NCDOT Congestion Management Capacity Analysis Guidelines](#), and submit the calculation sheets and supporting information to the District Engineer for approval prior to capacity analysis.

ITE LUC	Proposed Land Use	Size	Unit	Daily Trips	Peak Hour Type	AM Peak Hour Trips			PM Peak Hour Trips			Data Source
						Enter	Exit	Total	Enter	Exit	Total	
210	Single-Family Detac	140	du	1396	Adj. Street	99	27	72	131	81	50	ITE Equation
710	Office	12	1K SF	282	Generator	33	29	4	43	7	36	ITE Equation
822	Strip Retail (<40K)	10	1K SF	546	Adj. Street	39	22	17	63	31	32	ITE Rate
934	Fast-Food with DT	4	1K SF	1792	Adj. Street	133	68	65	126	66	60	ITE Rate
937	Coffee/Donut w DT	2	1K SF	1202	Adj. Street	171	87	84	78	39	39	ITE Rate
822	Strip Retail (<40K)	20	1K SF	1090	Adj. Street	79	43	36	126	63	63	ITE Rate
Unadjusted Site Trips				6308		554	276	278	567	287	280	<del> </del>
Internal Capture Trips (Attach Calculation Sheets)						77	37	40	221	110	111	ITE Rate
Internal Capture % of Unadjusted Site Trips						14 %			39 %			<del> </del>
LUC	Proposed Land Use	Any Internal Trips?		Pass-By % of External Trips								<del> </del>
210	Single-Family Detac	Not Applicable		%	%			%				
710	Office	Not Applicable		%	%			%				
822	Strip Retail (<40K)	Yes - Adjust External Trips		%	0 %			40 %			ITE Rate	
934	Fast-Food with DT	Yes - Adjust External Trips		%	50 %			55 %			ITE Rate	
937	Coffee/Donut w DT	Yes - Adjust External Trips		82 %	83 %			81 %			ITE Rate	
Pass-By Trips (Attach Calculation Sheets)				986	185	90	95	114	60	54	<del> </del>	
Adjacent Street Volumes												
Non-Pass-By Primary Trips				5322	292	149	143	232	117	115	<del> </del>	
Diverted Trips, if Applicable and Justifiable												

\*\*Explain local or other data sources, if used:

Internal capture trips will be assigned along Tommys Road and at site driveways as Inter-Development Trips between the applicable land uses.

Pass-by traffic will be capped at 10% of the 2031 No Build volumes once determined.

Existing Site Trip Information for Redevelopment Projects (Attach separate sheets as needed)

ITE LUC	Existing Land Use	Size	Unit	Daily Trips	Peak Hour Type	AM Peak Hour Trips			PM Peak Hour Trips			Data Source
						Enter	Exit	Total	Enter	Exit	Total	
					Please Select							Please Select
Total Existing Site Trips												<del> </del>



# NCDOT TIA Scoping Checklist



## Trip Distribution

- Trip distribution diagrams are submitted concurrently with this document (attach separate sheets).
- Trip distribution diagrams will be submitted separately, along with supporting information, to the District Engineer for review and approval prior to capacity analysis. The trip distribution shall be based on the current and anticipated traffic patterns, as well as instructions noted below.

Note for check boxes below - the additional diagrams indicated below will be submitted in the TIA.

If required by the District Engineer, the following additional diagrams shall also be submitted:

- Mixed-Use Developments (separate diagrams for residential, commercial, and office trips)
- Inter-Development Trips (if 'internal' trips cross public streets)
- Pass-By Trips
- Diverted Trips
- Each Analysis Period

## Mode Split

- Provide Data Source and Justification

Mode \ Period	Auto		
AM Peak	%	%	%
PM Peak	%	%	%
Daily	%	%	%
	%	%	%

- Identify proper infrastructure and accommodation for other modes of travel.

## Analysis Peak Periods:

- Weekday AM Peak 7-9 AM
- Weekday PM Peak 4-6 PM
- Weekday Midday Peak \_\_\_\_\_
- Weekday PM School Peak \_\_\_\_\_
- Weekend \_\_\_\_\_ Peak \_\_\_\_\_
- Other \_\_\_\_\_



# NCDOT TIA Scoping Checklist



## Study Area Intersections and Data Collection

The study area shall include the site access intersections (both new and existing) identified under “Site Plan and Access” on page 1, as well as the following external and, if applicable, internal intersections.

External Intersection	Intersection of		Traffic Control	Intersection Turning Movement Counts			Notes
	Road A	Road B		New / Existing	Date of Counts	Growth Adjustment	
#1	US 117/N William	Tommys Road	2-Way Stop	Use Existing Counts	11/18/25	2%	
#2	US 117/N William	I-42 EB Ramp	Signal	Require New Counts			
#3	US 117/N William	I-42 WB Ramp/Be	Signal	Require New Counts			
#4	US 117/N William	Industry Court	Signal	Require New Counts			
#5	US 117/N William	Patetown Road	Signal	Require New Counts			
#6							
#7							
#8							
#9							
#10							
#11							
#12							

Internal Intersection	Intersection of		Access Type		Intersection Spacing		
	Road A	Road B	Traffic Control	Permitted Movements	Distance (ft)	Direction	Nearest Intersection
#101							
#102							
#103							
#104							
#105							

The following data will be collected:

- New traffic turning movement counts in  15-min intervals  5-min intervals (near schools)  
 Unless otherwise noted above, new traffic counts shall be collected at the existing study intersections during the analysis periods. Weekday counts shall avoid Mondays, Fridays, holidays, school breaks, road closures, and major weather events.
- To account for the impact of existing and/or proposed school traffic, PHFs will be adjusted for:  
     intersections numbered: \_\_\_\_\_  
     and access points numbered: \_\_\_\_\_
- Traffic Forecast Data for TIP: \_\_\_\_\_
- Roadway/Intersection Configuration & Traffic Control
- Traffic Signal Phasing & Timing Data
- Crash Data: \_\_\_\_\_ Period: \_\_\_\_\_
- Other: \_\_\_\_\_



# NCDOT TIA Scoping Checklist



## Future Year Conditions

Project Build-Out Year: \_\_\_\_\_ 2031

Future Analysis Year(s): \_\_\_\_\_ 2031

Identify below any funded/committed future transportation improvements, as well as any approved but incomplete developments near the site.

Funded STIP / Local CIP Project	Project Description		Year Complete
U-2714	Widen US 117 to 4 lanes. Appears complete in proj vicinity		
Nearby Approved Development	Location	Future Land Use (exclude any completed phases)	Committed Improvements
Magnolia Grove	NE of 11th St, S of Englewood	303 Single-Family Homes	TBD
Duke Energy Ops Center	East of I-795, N of Belfast Rd	Need to confirm	TBD
WCDA Warehouse/Office	E of US 117, S of Patetown Rd	225,111 SF warehouse	TBD

Annual Growth Factor:  2  %

Justification/Data Source:  Attached historical growth data

## Local Comprehensive Transportation Plan Compliance

Identify Applicable Local Transportation Planning Documents

Identify Applicable Roadways inside the Study Area

Road Name	Classification	Speed Limit	Proposed Cross-Section	Proposed Right-of-Way	Compliance Requirements	Affect Study Intersection #



# NCDOT TIA Scoping Checklist



## Study Method

The traffic analysis shall follow the current [NCDOT Congestion Management Capacity Analysis Guidelines](#), [Policy on Street and Driveway Access to North Carolina Highways](#), and use the current approved version of analysis software (e.g. Synchro/SimTraffic, HCS, Sidra Intersection, TransModeler).

The study shall include the following analysis scenarios for each analysis period.

1. Existing Conditions
2. Future No-Build Conditions (existing + background growth + approved developments + committed or funded improvements)
3. Future Build Conditions (future no-build + site trips)
4. Future Build with Improvements Conditions (future build traffic with improvements to mitigate the proposed development's impacts) and, if applicable:
5. TIP Design Year Analysis \_\_\_\_\_
6. Alternative Access Scenario (without proposed control-of-access or median break / modification)

The following additional analysis/outputs should be provided as warranted:

- Signal Warrant Analysis for accesses/intersections \_\_\_\_\_
- Multi-Modal Level of Service Analysis
- School Loading Zone Traffic Simulation
- Phasing Analysis (scope separately as needed)
- Safety/Crash Analysis
- Control-of-Access Modification Justification
- Median Break / Modification Justification
- Other \_\_\_\_\_

## Submittals

In addition to the hardcopies required below, the TIA Consultant shall provide the District Engineer and, if required, the local government an electronic copy of the study documents, including the latest site plan, figures and appendices, in searchable PDF files and the original traffic analysis files (e.g., Synchro, HCS).

To expedite review, the NCDOT electronic submittals shall also be delivered concurrently to:

- Div. Traffic Engr  Regional Traffic Engr  Congestion Management  Other \_\_\_\_\_

Submittals	NCDOT		Local Government	
	Electronic	Hardcopy	Electronic	Hardcopy
Trip Generation & Distribution	Required			
Draft TIA Report	Required			
Final Sealed TIA Report	Required			

- Additional Comments** (municipal TIA requirements, approved variations from NCDOT guidelines)



# NCDOT TIA Scoping Checklist



## Agreement by All Parties

The undersigned agree to the contents and methodology described above for completing the required traffic impact analysis for the proposed development identified herein. Any changes to the above methodology contemplated by the Applicant or the TIA Consultant must be submitted to the District Engineer in writing. If approved by NCDOT, then such changes may be accepted for the TIA report. Subsequent revisions to the development plan (e.g. land use, density, site access, or schedule) may require additional scoping and analysis, and may modify the TIA requirements.

This agreement shall become effective on the date approved by NCDOT, and shall expire \_\_\_\_ months after the effective date or upon significant changes to the roadway network and/or development assumptions, whichever occurs first. Once expired, renewal or re-scoping will be required for subsequent TIA submittals.

## APPLICANT

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Gabe Bucklen  
Print Name

\_\_\_\_\_  
Date

## TIA CONSULTANT

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Melinda Seley  
Print Name

\_\_\_\_\_  
Date

## LOCAL GOVERNMENT REPRESENTATIVE (If Applicable)

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Date

Email concurrence may be used in lieu of the signature.

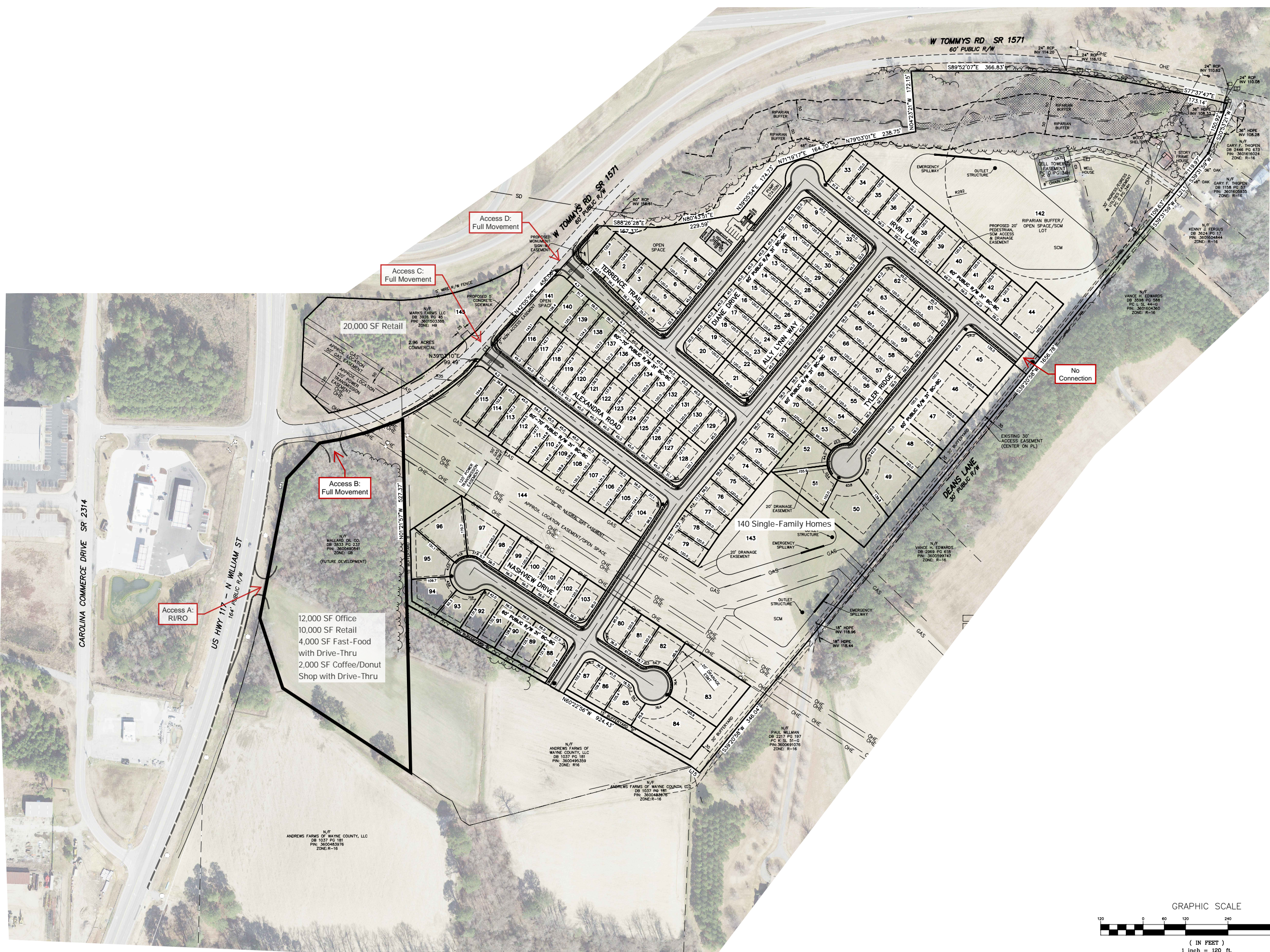
## NCDOT DISTRICT REPRESENTATIVE

Reviewed and approved by the NCDOT Division 4 District 3 on \_\_\_\_\_.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print Name

Email concurrence may be used in lieu of the signature.



Access A:  
R/O

12,000 SF Office  
10,000 SF Retail  
4,000 SF Fast-Food  
with Drive-Thru  
2,000 SF Coffee/Donut  
Shop with Drive-Thru

Access B:  
Full Movement

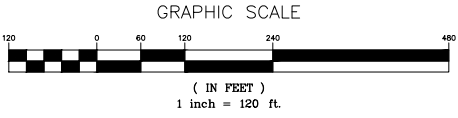
20,000 SF Retail

Access C:  
Full Movement

Access D:  
Full Movement

No  
Connection

140 Single-Family Homes



Revision date:	Description:

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PRELIMINARY PLAN  
NOT FOR  
RECORDATION,  
SALES OR  
CONVEYANCES  
(SEAL HERE)

Sheet Title: **TRAFFIC IMPACT ANALYSIS (TIA) MAP**

Project: **TUCKER TRACE**

CITY OF GOLDSBORO  
WAYNE COUNTY  
Zone:  
Pin Number: 3601503388

Project Number:	24-475
Date:	MARCH 2026
Client Code:	DEVGTJ
Scale (Horz.):	1" = 120'
Scale (Vert.):	N/A
Survey By:	
Field Book:	
Drawn By:	LR
Sheet:	

ITE Trip Generation (12th Edition) Tucker Trace												
Site Trips												
LUC	Land Use	Intensity	Units	Avg Rate or Equation?	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips			
					Total	Total	Enter	Exit	Total	Enter	Exit	
<b>Northern Tract</b>												
822	Strip Retail Plaza (<40K)	20	1,000 Sq Ft	Avg	1,090	79	43	36	126	63	63	
<b>Southern Tract</b>												
210	Single-Family Detached Housing	140	Dwelling Unit(s)	Eq	1,396	99	27	72	131	81	50	
710	General Office Building	12	1,000 Sq Ft	Eq	282	33	29	4	43	7	36	
822	Strip Retail Plaza (<40K)	10	1,000 Sq Ft	Avg	546	39	22	17	63	31	32	
934	Fast-Food Restaurant w/ D.T.	4	1,000 Sq Ft	Avg	1,792	133	68	65	126	66	60	
937	Coffee/Donut Shop w/ D.T.	2	1,000 Sq Ft	Avg	1,202	171	87	84	78	39	39	
<b>Total</b>					<b>6,308</b>	<b>554</b>	<b>276</b>	<b>278</b>	<b>567</b>	<b>287</b>	<b>280</b>	
Internal Capture (Will be considered Inter-Development Trips and applied to site driveways)												
Land Use Code(s)	Land Use				Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips			
					Total	Total	Enter	Exit	Total	Enter	Exit	
710	Office					8	5	3	15	5	10	
822	Retail					16	7	9	81	49	32	
934, 937	Restaurant					34	23	11	95	40	55	
210	Residential					19	2	17	30	16	14	
<b>Total</b>						<b>77</b>	<b>37</b>	<b>40</b>	<b>221</b>	<b>110</b>	<b>111</b>	
External Trips												
LUC	Land Use				Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips			
					Total	Total	Enter	Exit	Total	Enter	Exit	
<b>Northern Tract</b>												
822	Strip Retail Plaza (<40K)				1,090	68	38	30	72	30	42	
<b>Southern Tract</b>												
210	Single-Family Detached Housing				1,396	80	25	55	101	65	36	
710	General Office Building				282	25	24	1	28	2	26	
822	Strip Retail Plaza (<40K)				546	34	20	14	36	15	21	
934	Fast-Food Restaurant w/ D.T.				1,792	118	58	60	68	41	27	
937	Coffee/Donut Shop w/ D.T.				1,202	152	74	78	41	24	17	
<b>Total</b>					<b>6,308</b>	<b>477</b>	<b>239</b>	<b>238</b>	<b>346</b>	<b>177</b>	<b>169</b>	
Pass-By Trips												
LUC	Land Use	Daily Trip%	AM Trip%	PM Trip%	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips			
					Total	Total	Enter	Exit	Total	Enter	Exit	
<b>Northern Tract</b>												
822	Strip Retail Plaza (<40K)*	-	0%	40%		0	0	0	29	12	17	
<b>Southern Tract</b>												
822	Strip Retail Plaza (<40K)*	-	0%	40%		0	0	0	14	6	8	
934	Fast-Food Restaurant w/ D.T.	-	50%	55%		59	29	30	38	23	15	
937	Coffee/Donut Shop w/ D.T.	82%	83%	81%	986	126	61	65	33	19	14	
<b>Total</b>					<b>986</b>	<b>185</b>	<b>90</b>	<b>95</b>	<b>114</b>	<b>60</b>	<b>54</b>	
Adjacent Street Volumes (2031 No-Build) TBD												
Pass-By Maximum (10% Adjacent Street Volumes)					0	0	0	0	0	0	0	
Net New External Site Trips												
					Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips			
					Total	Total	Enter	Exit	Total	Enter	Exit	
Northern Tract Commercial					1,090	68	38	30	43	18	25	
Southern Tract Office & Commercial					2,836	144	86	58	88	34	54	
Southern Tract Residential					1,396	80	25	55	101	65	36	
<b>TOTAL</b>					<b>5,322</b>	<b>292</b>	<b>149</b>	<b>143</b>	<b>232</b>	<b>117</b>	<b>115</b>	

Reference: Trip Generation Manual, 12th Edition, Institute of Transportation Engineers, August 2025 (ITE TripGen Web-based App)

\*Utilized Pass-By rates for LUC 821

NCHRP 684 Internal Trip Capture Estimation Tool		
Project Name:	Tucker Trace TIA	Organization:
Project Location:	Goldsboro, NC	Performed By:
Scenario Description:		Date:
Analysis Year:		Checked By:
Analysis Period:	AM Street Peak Hour	Date:

Project Name:	Tucker Trace TIA
Analysis Period:	AM Street Peak Hour

Table 1-A: Base Vehicle-Trip Generation Estimates (Single-Use Site Estimate)						
Land Use	Development Data (For Information Only)			Estimated Vehicle-Trips <sup>3</sup>		
	ITE LUCs <sup>1</sup>	Quantity	Units	Total	Entering	Exiting
Office	710			33	29	4
Retail	822 822			118	65	53
Restaurant	934 937			304	155	149
Cinema/Entertainment				0	0	0
Residential	0 0 210			99	27	72
Hotel				0	0	0
All Other Land Uses <sup>2</sup>				0	0	0
				554	276	278

Table 2-A: Mode Split and Vehicle Occupancy Estimates						
Land Use	Entering Trips			Exiting Trips		
	Veh. Occ. <sup>4</sup>	% Transit	% Non-Motorized	Veh. Occ. <sup>4</sup>	% Transit	% Non-Motorized
Office	1.10	0%	0%	1.10	0%	0%
Retail	1.10	0%	0%	1.10	0%	0%
Restaurant	1.10	0%	0%	1.10	0%	0%
Cinema/Entertainment	1.10	0%	0%	1.10	0%	0%
Residential	1.10	0%	0%	1.10	0%	0%
Hotel	1.10	0%	0%	1.10	0%	0%
All Other Land Uses <sup>2</sup>	1.10	0%	0%	1.10	0%	0%

Table 3-A: Average Land Use Interchange Distances (Feet Walking Distance)						
Origin (From)	Destination (To)					
	Office	Retail	Restaurant	Cinema/Entertainment	Residential	Hotel
Office						
Retail						
Restaurant						
Cinema/Entertainment						
Residential						
Hotel						

Table 4-A: Internal Person-Trip Origin-Destination Matrix*						
Origin (From)	Destination (To)					
	Office	Retail	Restaurant	Cinema/Entertainment	Residential	Hotel
Office		1	2	0	0	0
Retail	1		8	0	1	0
Restaurant	4	6		0	2	0
Cinema/Entertainment	0	0	0		0	0
Residential	1	1	16	0		0
Hotel	0	0	0	0	0	

Table 5-A: Computations Summary			
	Total	Entering	Exiting
All Person-Trips	610	305	305
Internal Capture Percentage	14%	14%	14%
External Vehicle-Trips <sup>5</sup>	477	239	238
External Transit-Trips <sup>6</sup>	0	0	0
External Non-Motorized Trips <sup>6</sup>	0	0	0

Table 6-A: Internal Trip Capture Percentages by Land Use			
Land Use	Entering Trips	Exiting Trips	
Office	19%	75%	
Retail	11%	17%	
Restaurant	15%	7%	
Cinema/Entertainment	N/A	N/A	
Residential	10%	23%	
Hotel	N/A	N/A	

<sup>1</sup>Land Use Codes (LUCs) from *Trip Generation Manual*, published by the Institute of Transportation Engineers.

<sup>2</sup>Total estimate for all other land uses at mixed-use development site is not subject to internal trip capture computations in this estimator.

<sup>3</sup>Enter trips assuming no transit or non-motorized trips (as assumed in ITE *Trip Generation Manual*).

<sup>4</sup>Enter vehicle occupancy assumed in Table 1-A vehicle trips. If vehicle occupancy changes for proposed mixed-use project, manual adjustments must be made to Tables 5-A, 9-A (O and D). Enter transit, non-motorized percentages that will result with proposed mixed-use project complete.

<sup>5</sup>Vehicle-trips computed using the mode split and vehicle occupancy values provided in Table 2-A.

<sup>6</sup>Person-Trips

<sup>7</sup>Indicates computation that has been rounded to the nearest whole number.

Estimation Tool Developed by the Texas A&M Transportation Institute - Version 2013.1

EXULT ADDED TABLE: TOTAL INTERNAL CAPTURE VEHICULAR TRIPS						
Origin Land Use	ENTERING TRIPS			EXITING TRIPS		
	Internal	External	Total	Internal	External	Total
Office	5	24	29	3	1	4
Retail	7	58	65	9	44	53
Restaurant	23	132	155	11	138	149
Cinema/Entertainment	0	0	0	0	0	0
Residential	2	25	27	17	55	72
Hotel	0	0	0	0	0	0
All Other Land Uses <sup>3</sup>	0	0	0	0	0	0

Land Use	Table 7-A (D): Entering Trips			Table 7-A (O): Exiting Trips		
	Veh. Occ.	Vehicle-Trips	Person-Trips <sup>4</sup>	Veh. Occ.	Vehicle-Trips	Person-Trips <sup>4</sup>
Office	1.10	29	32	1.10	4	4
Retail	1.10	65	72	1.10	53	58
Restaurant	1.10	155	171	1.10	149	164
Cinema/Entertainment	1.10	0	0	1.10	0	0
Residential	1.10	27	30	1.10	72	79
Hotel	1.10	0	0	1.10	0	0

Table 8-A (O): Internal Person-Trip Origin-Destination Matrix (Computed at Origin)						
Origin (From)	Destination (To)					
	Office	Retail	Restaurant	Cinema/Entertainment	Residential	Hotel
Office		1	3	0	0	0
Retail	17		8	0	8	0
Restaurant	51	23		0	7	5
Cinema/Entertainment	0	0	0		0	0
Residential	2	1	16	0		0
Hotel	0	0	0	0	0	

Table 8-A (D): Internal Person-Trip Origin-Destination Matrix (Computed at Destination)						
Origin (From)	Destination (To)					
	Office	Retail	Restaurant	Cinema/Entertainment	Residential	Hotel
Office		23	39	0	0	0
Retail	1		86	0	1	0
Restaurant	4	6		0	2	0
Cinema/Entertainment	0	0	0		0	0
Residential	1	12	34	0		0
Hotel	1	3	10	0	0	

Table 9-A (D): Internal and External Trips Summary (Entering Trips)						
Destination Land Use	Person-Trip Estimates			External Trips by Mode <sup>4</sup>		
	Internal	External	Total	Vehicles <sup>1</sup>	Transit <sup>2</sup>	Non-Motorized <sup>2</sup>
Office	6	26	32	24	0	0
Retail	8	64	72	58	0	0
Restaurant	26	145	171	132	0	0
Cinema/Entertainment	0	0	0	0	0	0
Residential	3	27	30	25	0	0
Hotel	0	0	0	0	0	0
All Other Land Uses <sup>3</sup>	0	0	0	0	0	0

Table 9-A (O): Internal and External Trips Summary (Exiting Trips)						
Origin Land Use	Person-Trip Estimates			External Trips by Mode <sup>4</sup>		
	Internal	External	Total	Vehicles <sup>1</sup>	Transit <sup>2</sup>	Non-Motorized <sup>2</sup>
Office	3	1	4	1	0	0
Retail	10	48	58	44	0	0
Restaurant	12	152	164	138	0	0
Cinema/Entertainment	0	0	0	0	0	0
Residential	18	61	79	55	0	0
Hotel	0	0	0	0	0	0
All Other Land Uses <sup>3</sup>	0	0	0	0	0	0

<sup>1</sup>Vehicle-trips computed using the mode split and vehicle occupancy values provided in Table 2-A

<sup>2</sup>Person-Trips

<sup>3</sup>Total estimate for all other land uses at mixed-use development site is not subject to internal trip capture computations in this estimator

<sup>4</sup>Indicates computation that has been rounded to the nearest whole number.

NCHRP 684 Internal Trip Capture Estimation Tool			
Project Name:	Tucker Trace TIA	Organization:	
Project Location:	Goldsboro, NC	Performed By:	
Scenario Description:		Date:	
Analysis Year:		Checked By:	
Analysis Period:	PM Street Peak Hour	Date:	

Table 1-A: Base Vehicle-Trip Generation Estimates (Single-Use Site Estimate)						
Land Use	Development Data (For Information Only)			Estimated Vehicle-Trips <sup>3</sup>		
	ITE LUCs <sup>1</sup>	Quantity	Units	Total	Entering	Exiting
Office	710			43	7	36
Retail	822 822			189	94	95
Restaurant	934 937			204	105	99
Cinema/Entertainment				0	0	0
Residential	0 0 210			131	81	50
Hotel				0	0	0
All Other Land Uses <sup>2</sup>				0	0	0
				567	287	280

Table 2-A: Mode Split and Vehicle Occupancy Estimates						
Land Use	Entering Trips			Exiting Trips		
	Veh. Occ. <sup>4</sup>	% Transit	% Non-Motorized	Veh. Occ. <sup>4</sup>	% Transit	% Non-Motorized
Office	1.10	0%	0%	1.10	0%	0%
Retail	1.10	0%	0%	1.10	0%	0%
Restaurant	1.10	0%	0%	1.10	0%	0%
Cinema/Entertainment	1.10	0%	0%	1.10	0%	0%
Residential	1.10	0%	0%	1.10	0%	0%
Hotel	1.10	0%	0%	1.10	0%	0%
All Other Land Uses <sup>2</sup>	1.10	0%	0%	1.10	0%	0%

Table 3-A: Average Land Use Interchange Distances (Feet Walking Distance)						
Origin (From)	Destination (To)					
	Office	Retail	Restaurant	Cinema/Entertainment	Residential	Hotel
Office						
Retail					3673	
Restaurant						
Cinema/Entertainment						
Residential		3673				
Hotel						

Table 4-A: Internal Person-Trip Origin-Destination Matrix*						
Origin (From)	Destination (To)					
	Office	Retail	Restaurant	Cinema/Entertainment	Residential	Hotel
Office		8	2	0	1	0
Retail	2		30	0	3	0
Restaurant	2	45		0	14	0
Cinema/Entertainment	0	0	0		0	0
Residential	2	1	12	0		0
Hotel	0	0	0	0	0	

Table 5-A: Computations Summary			
	Total	Entering	Exiting
All Person-Trips	624	316	308
Internal Capture Percentage	39%	39%	40%
External Vehicle-Trips <sup>5</sup>	346	177	169
External Transit-Trips <sup>6</sup>	0	0	0
External Non-Motorized Trips <sup>3</sup>	0	0	0

Table 6-A: Internal Trip Capture Percentages by Land Use			
Land Use	Entering Trips	Exiting Trips	
Office	75%	28%	
Retail	52%	33%	
Restaurant	38%	56%	
Cinema/Entertainment	N/A	N/A	
Residential	20%	27%	
Hotel	N/A	N/A	

<sup>1</sup>Land Use Codes (LUCs) from *Trip Generation Manual*, published by the Institute of Transportation Engineers.  
<sup>2</sup>Total estimate for all other land uses at mixed-use development site is not subject to internal trip capture computations in this estimator.  
<sup>3</sup>Enter trips assuming no transit or non-motorized trips (as assumed in ITE *Trip Generation Manual*).  
<sup>4</sup>Enter vehicle occupancy assumed in Table 1-A vehicle trips. If vehicle occupancy changes for proposed mixed-use project, manual adjustments must be made to Tables 5-A, 9-A (O and D). Enter transit, non-motorized percentages that will result with proposed mixed-use project complete.  
<sup>5</sup>Vehicle-trips computed using the mode split and vehicle occupancy values provided in Table 2-A.  
<sup>6</sup>Person-Trips  
<sup>7</sup>Indicates computation that has been rounded to the nearest whole number.  
 Estimation Tool Developed by the Texas A&M Transportation Institute - Version 2013.1

EXULT ADDED TABLE: TOTAL INTERNAL CAPTURE VEHICULAR TRIPS						
Origin Land Use	ENTERING TRIPS			EXITING TRIPS		
	Internal	External	Total	Internal	External	Total
Office	5	2	7	10	26	36
Retail	49	45	94	32	63	95
Restaurant	40	65	105	55	44	99
Cinema/Entertainment	0	0	0	0	0	0
Residential	16	65	81	14	36	50
Hotel	0	0	0	0	0	0
All Other Land Uses <sup>3</sup>	0	0	0	0	0	0

Project Name:	Tucker Trace TIA
Analysis Period:	PM Street Peak Hour

Table 7-A: Conversion of Vehicle-Trip Ends to Person-Trip Ends						
Land Use	Table 7-A (D): Entering Trips			Table 7-A (O): Exiting Trips		
	Veh. Occ.	Vehicle-Trips	Person-Trips <sup>7</sup>	Veh. Occ.	Vehicle-Trips	Person-Trips <sup>7</sup>
Office	1.10	7	8	1.10	36	39.6
Retail	1.10	94	103	1.10	95	104.5
Restaurant	1.10	105	116	1.10	99	108.9
Cinema/Entertainment	1.10	0	0	1.10	0	0
Residential	1.10	81	89	1.10	50	55
Hotel	1.10	0	0	1.10	0	0

Table 8-A (O): Internal Person-Trip Origin-Destination Matrix (Computed at Origin)						
Origin (From)	Destination (To)					
	Office	Retail	Restaurant	Cinema/Entertainment	Residential	Hotel
Office		8	2	0	1	0
Retail	2		30	4	3	5
Restaurant	3	45		9	20	8
Cinema/Entertainment	0	0	0		0	0
Residential	2	2	12	0		2
Hotel	0	0	0	0	0	

Table 8-A (D): Internal Person-Trip Origin-Destination Matrix (Computed at Destination)						
Origin (From)	Destination (To)					
	Office	Retail	Restaurant	Cinema/Entertainment	Residential	Hotel
Office		8	2	0	4	0
Retail	2		34	0	41	0
Restaurant	2	52		0	14	0
Cinema/Entertainment	0	4	3		4	0
Residential	5	1	16	0		0
Hotel	0	2	6	0	0	

Table 9-A (D): Internal and External Trips Summary (Entering Trips)						
Destination Land Use	Person-Trip Estimates			External Trips by Mode <sup>8</sup>		
	Internal	External	Total	Vehicles <sup>1</sup>	Transit <sup>2</sup>	Non-Motorized <sup>3</sup>
Office	6	2	8	2	0	0
Retail	54	49	103	45	0	0
Restaurant	44	72	116	65	0	0
Cinema/Entertainment	0	0	0	0	0	0
Residential	18	71	89	65	0	0
Hotel	0	0	0	0	0	0
All Other Land Uses <sup>3</sup>	0	0	0	0	0	0

Table 9-A (O): Internal and External Trips Summary (Exiting Trips)						
Origin Land Use	Person-Trip Estimates			External Trips by Mode <sup>8</sup>		
	Internal	External	Total	Vehicles <sup>1</sup>	Transit <sup>2</sup>	Non-Motorized <sup>3</sup>
Office	11	29	40	26	0	0
Retail	35	70	105	63	0	0
Restaurant	61	48	109	44	0	0
Cinema/Entertainment	0	0	0	0	0	0
Residential	15	40	55	36	0	0
Hotel	0	0	0	0	0	0
All Other Land Uses <sup>3</sup>	0	0	0	0	0	0

<sup>1</sup>Vehicle-trips computed using the mode split and vehicle occupancy values provided in Table 2-A  
<sup>2</sup>Person-Trips  
<sup>3</sup>Total estimate for all other land uses at mixed-use development site is not subject to internal trip capture computations in this estimator  
<sup>4</sup>Indicates computation that has been rounded to the nearest whole number.

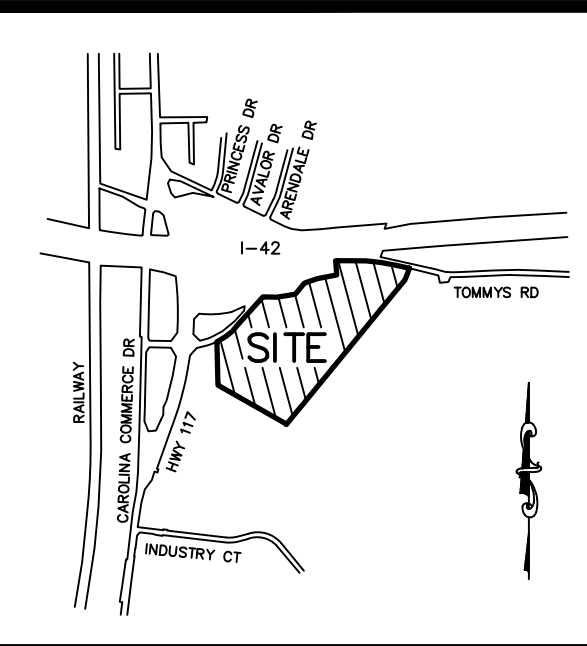
## Historical Growth Rate Data

Count Station	2018	2022	Annual Growth
Tommys Road E of US 117	60	30	
US 117 S of Industry Court	9500	8600	-2.46%
US 117 N of Stoney Creek Church Road*	7700	7400	-0.66%
US 117 S of Fedelon Trail*	11000	13500	3.47%
US 70 Byp E On Ramp**	1500	2100	4.30%
US 70 Byp E Off Ramp**	1600	2400	5.20%
Average			1.97%

*Tommys Road not included due to minimal volumes*

\* Count years 2016 and 2022

\*\* Count years 2015 and 2023



LOCATION MAP  
NO SCALE

Line Table

Line #	Length	Direction
L1	4.23	S39°31'59"W
L2	30.15	S39°31'59"W
L15	32.07	N51°48'12"W

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHD BRG	CHORD
C1	228.766	802.88	16°19'31"	N56°03'44"E	227.99
C2	362.562	2360.80	8°47'57"	N81°31'59"W	362.21

**SITE DATA**  
 TOTAL AREA IN TRACT 56.7± ACRES (2,470,122 SF±)  
 AREA IN R/W 7.99± ACRES (348,037 SF±)  
 TOTAL # LOTS 145 TOTAL LOTS  
 140 RESIDENTIAL (R6-CZ)  
 4 OPEN SPACE/SCM STORMWATER  
 1 COMMERCIAL (LOT 145)

**PROPOSED ZONING** R6-CZ (53.7 AC±) & GB (2.96 AC±)(LOT 145)

**MINIMUM BUILDING LINES**  
 R6-CZ (LOTS 44-50 & 83-84) GB  
 FRONT 15' FRONT 40' FRONT 20'  
 SIDE 5' SIDE 16' SIDE 15'  
 ST SIDE 15' ST SIDE 32' ST SIDE 25'  
 REAR 15' REAR 25'

**MINIMUM LOT WIDTH** R6-CZ GB  
 45' N/A

**PROPOSED MIN. LOT SIZE** 5,400 SF±

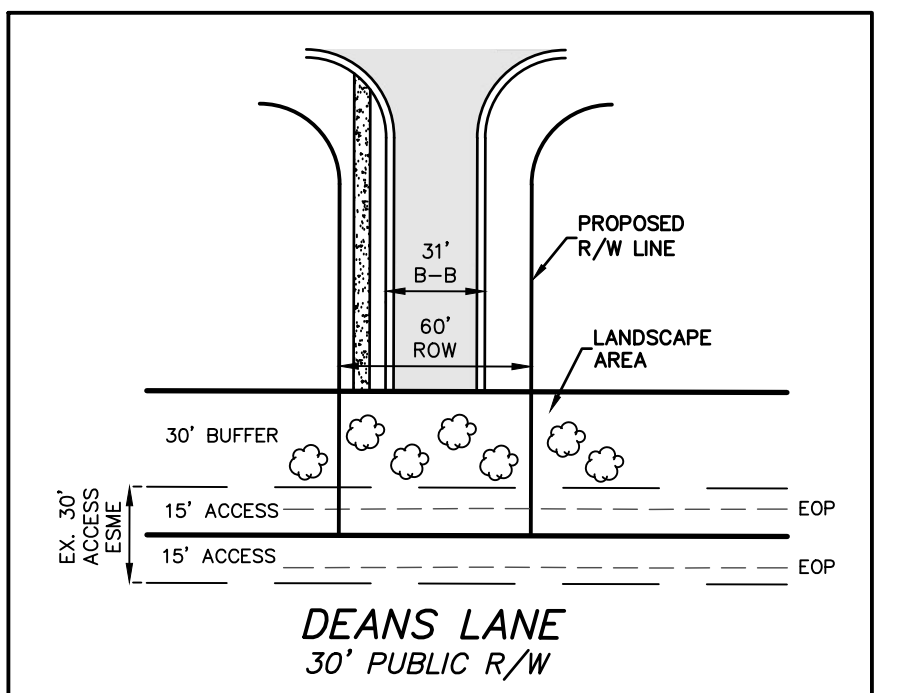
**LINEAR FEET OF STREET DEVELOPER** MGC CAPITAL  
 5818 WATKINS RD  
 WENDELL, NC 27591

**PIN NO.** 3601503388

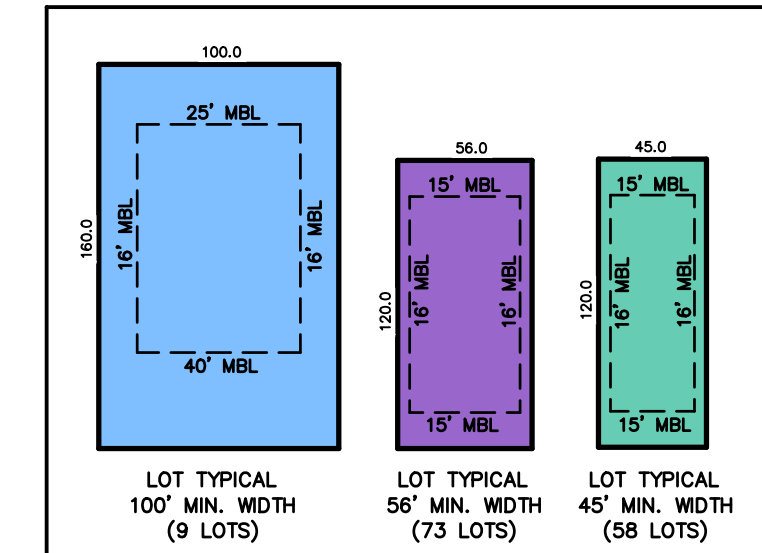
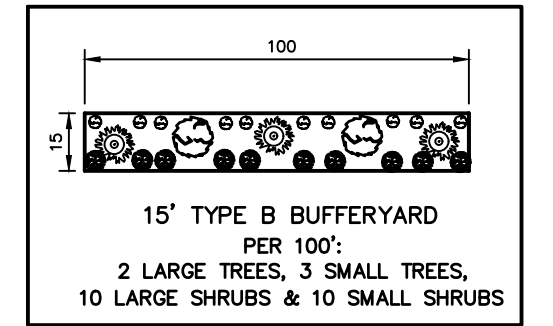
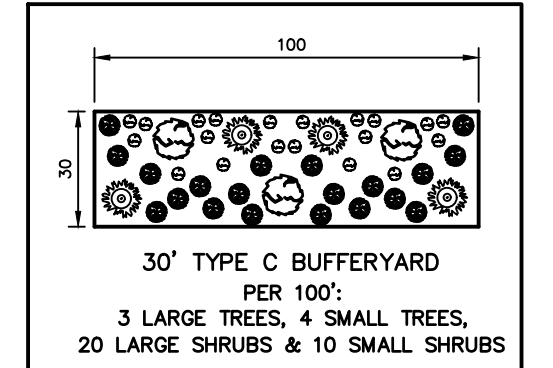
**REFERENCES:** DEED BOOK 3926 PAGE 45

**OPEN SPACE REQUIRED** 11.28 ACRES (20%)

**OPEN SPACE PROVIDED** 20.0 ACRES±



INSET  
1" = 60'

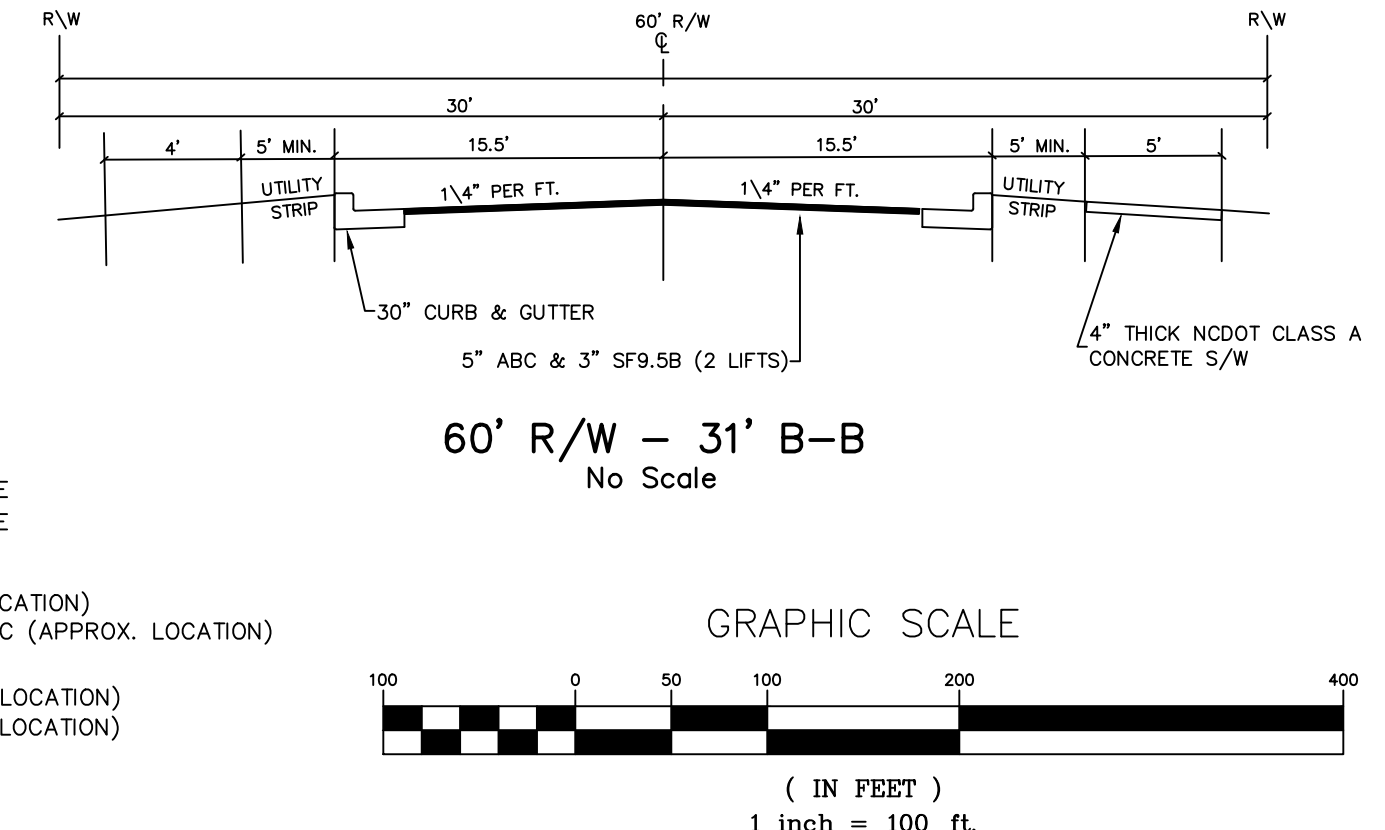


LOT AREA TABLE

LOT NO.	LOT AREA (SQFT)	MAX AREA IMPERVIOUS	LOT NO.	LOT AREA (SQFT)	MAX AREA IMPERVIOUS	LOT NO.	LOT AREA (SQFT)	MAX AREA IMPERVIOUS
1	6666	3000	51	12196	5000	101	6720	5000
2	7097	3000	52	10535	5000	102	6720	5000
3	7342	3000	53	6281	5000	103	7185	5000
4	6671	3000	54	6720	5000	104	7745	5000
5	5401	3000	55	6720	5000	106	7053	5000
6	5400	3000	56	6720	5000	108	7260	5000
7	5400	3000	57	6720	5000	107	7495	5000
8	5400	3000	58	6720	5000	108	7673	5000
9	6706	3000	59	6720	5000	109	6315	5000
10	5400	3000	60	6720	5000	110	6445	5000
11	5400	3000	61	7787	5000	111	6662	5000
12	5400	3000	62	7786	5000	112	6662	5000
13	5400	3000	63	6720	5000	113	6786	5000
14	5400	3000	64	6720	5000	114	6839	5000
15	5400	3000	65	6720	5000	115	6912	5000
16	5400	3000	66	6720	5000	116	6432	5000
17	5400	3000	67	6720	5000	117	6415	5000
18	5400	3000	68	6720	5000	118	6397	5000
19	5400	3000	69	6720	5000	119	6377	5000
20	6706	3000	70	6720	5000	120	6317	5000
21	6705	3000	71	6720	5000	121	6228	5000
22	5400	3000	72	6720	5000	122	6160	5000
23	5400	3000	73	6720	5000	123	6082	5000
24	5400	3000	74	6720	5000	124	6004	5000
25	5400	3000	75	6720	5000	125	5926	5000
26	5400	3000	76	6720	5000	126	5847	5000
27	5400	3000	77	6643	5000	127	5769	5000
28	5400	3000	78	6623	5000	128	5743	5000
29	5400	3000	79	6720	5000	129	5666	5000
30	5400	3000	80	7186	5000	130	5400	3000
31	5400	3000	81	7300	5000	131	5400	3000
32	6707	5000	82	9246	5000	132	5421	3000
33	6720	5000	83	30107	5000	133	5400	3000
34	6720	5000	84	22676	5000	134	5400	3000
35	6720	5000	85	7813	5000	135	5400	3000
36	6720	5000	86	6551	5000	136	5421	3000
37	6720	5000	87	6961	5000	137	5501	3000
38	6720	5000	88	7326	5000	138	6627	3000
39	7620	5000	89	6902	5000	139	6685	3000
40	7620	5000	90	7106	5000	140	7043	3000
41	6720	5000	91	7314	5000	141	15983	0
42	6720	5000	92	7500	5000	142	486947	291508
43	6720	5000	93	7272	5000	143	26982	0
44	16000	5000	94	9462	5000	144	166517	101116
45	18425	5000	95	11552	5000	145	126814	91710
46	16000	5000	96	14002	5000	R/W	348337	208822
47	16000	5000	97	12118	5000	TOTAL	2470122	1307610
48	18000	5000	98	6720	5000			
49	18000	5000	99	6720	5000			
50	20882	5000	100	6720	5000			

- PROPOSED UTILITIES LEGEND**
- PROPOSED CATCH BASIN
  - PROPOSED DROP INLET
  - PROPOSED CLEAN OUT
  - PROPOSED SEWER MANHOLE
  - PROPOSED FIRE HYDRANT
  - PROPOSED WATER VALVE

- LINE LEGEND & ABBREVIATIONS**
- PROPOSED STORM DRAIN LINE
  - PROPOSED SANITARY SEWER LINE
  - PROPOSED SANITARY SEWER LINE
  - PROPOSED WATER LINE
  - EXISTING GAS LINE (APPROX. LOCATION)
  - EXISTING OVERHEAD ELECTRIC (APPROX. LOCATION)
  - EXISTING WATER LINE (APPROX. LOCATION)
  - EXISTING SEWER LINE (APPROX. LOCATION)
  - EXISTING RIGHT-OF-WAY LINE
  - EXISTING PROPERTY LINE



Revision date:

Revision date:	Description:

**BARTLETT ENGINEERING & SURVEYING, PC**

1906 Nash Street North  
Wilson, NC 27593-1726  
License # C-1501

TELE: (252) 398-0704  
FAX: (252) 398-0804  
www.bartletteng.com

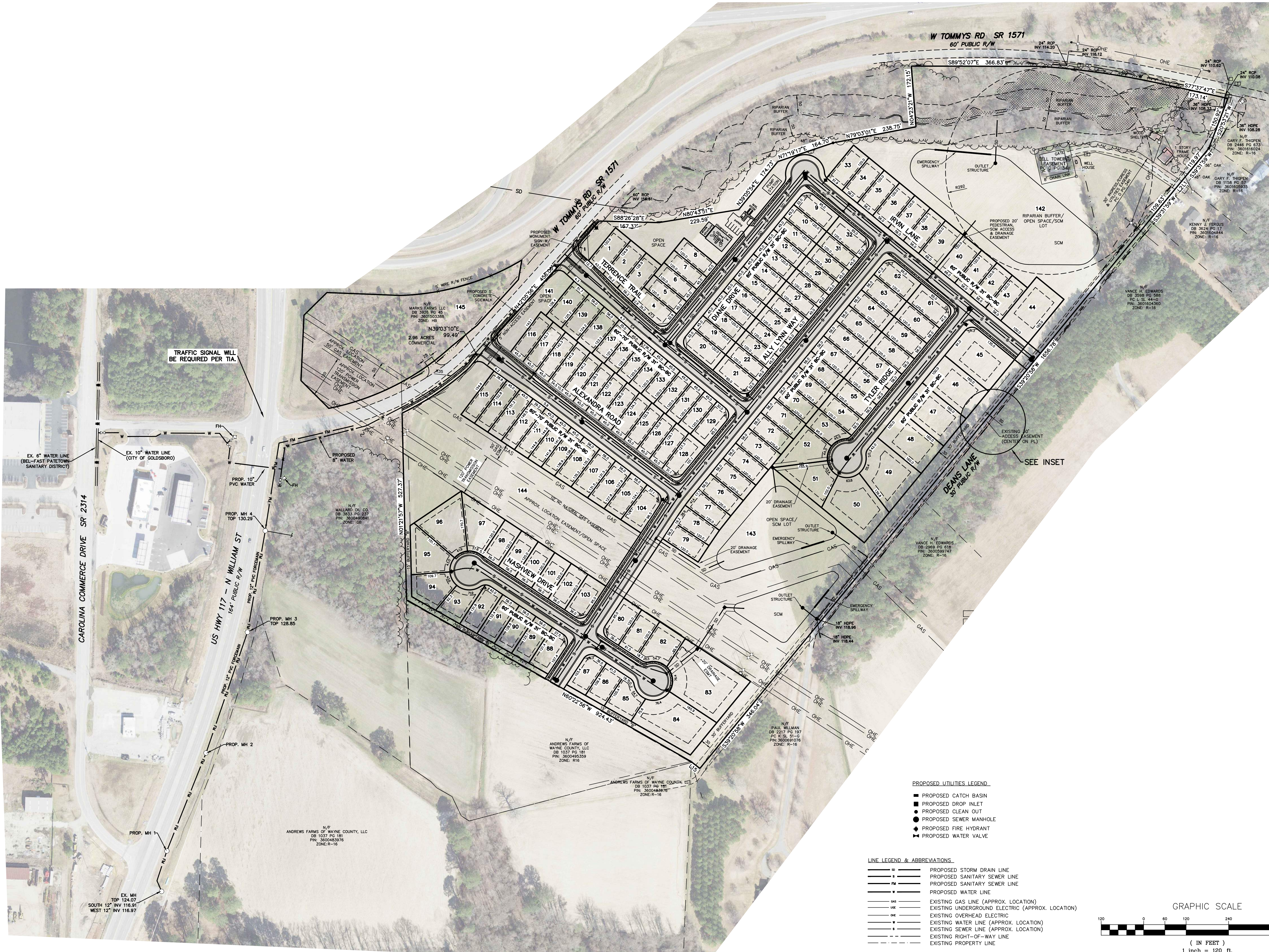
PRELIMINARY PLAN  
NOT FOR  
RECORDATION,  
SALES OR  
CONVEYANCES  
(SEAL HERE)

**SUBDIVISION MASTER PLAN**

Project: TUCKER TRACE

City of Goldsboro  
Wayne County  
Zone: R-16  
Pin Number: 3601503388

Project Number: 24-475  
Date: SEPT. 2024  
Client Code: DEVTJ  
Scale (Horz.): 1" = 100'  
Scale (Vert.): N/A  
Survey By:  
Field Book:  
Drawn By: LR  
Sheet: SP1



TRAFFIC SIGNAL WILL BE REQUIRED PER TIA.

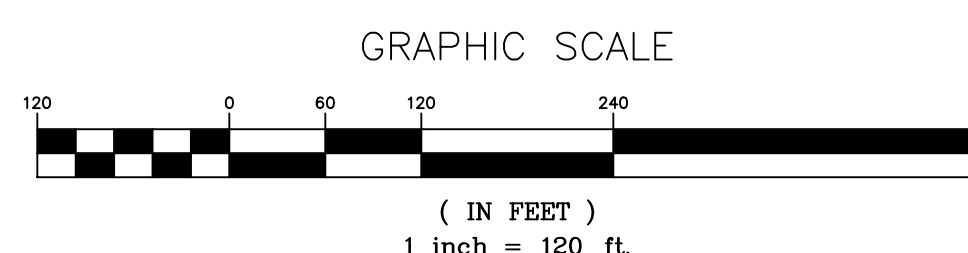
CAROLINA COMMERCE DRIVE SR 2314

US HWY 117 - N WILLIAM ST

W TOMMYS RD SR 1571  
60' PUBLIC R/W

- PROPOSED UTILITIES LEGEND**
- PROPOSED CATCH BASIN
  - PROPOSED DROP INLET
  - PROPOSED CLEAN OUT
  - PROPOSED SEWER MANHOLE
  - PROPOSED FIRE HYDRANT
  - PROPOSED WATER VALVE

- LINE LEGEND & ABBREVIATIONS**
- SD — PROPOSED STORM DRAIN LINE
  - S — PROPOSED SANITARY SEWER LINE
  - PM — PROPOSED SANITARY SEWER LINE
  - W — PROPOSED WATER LINE
  - GAS — EXISTING GAS LINE (APPROX. LOCATION)
  - OHE — EXISTING UNDERGROUND ELECTRIC (APPROX. LOCATION)
  - OHE — EXISTING OVERHEAD ELECTRIC
  - W — EXISTING WATER LINE (APPROX. LOCATION)
  - S — EXISTING SEWER LINE (APPROX. LOCATION)
  - — EXISTING RIGHT-OF-WAY LINE
  - — EXISTING PROPERTY LINE



Revision date:	
Description:	

**BARTLETT ENGINEERING & SURVEYING, PC**

1906 Nash Street North  
Wilson, NC 27893-1726  
TELE: (252) 399-0704  
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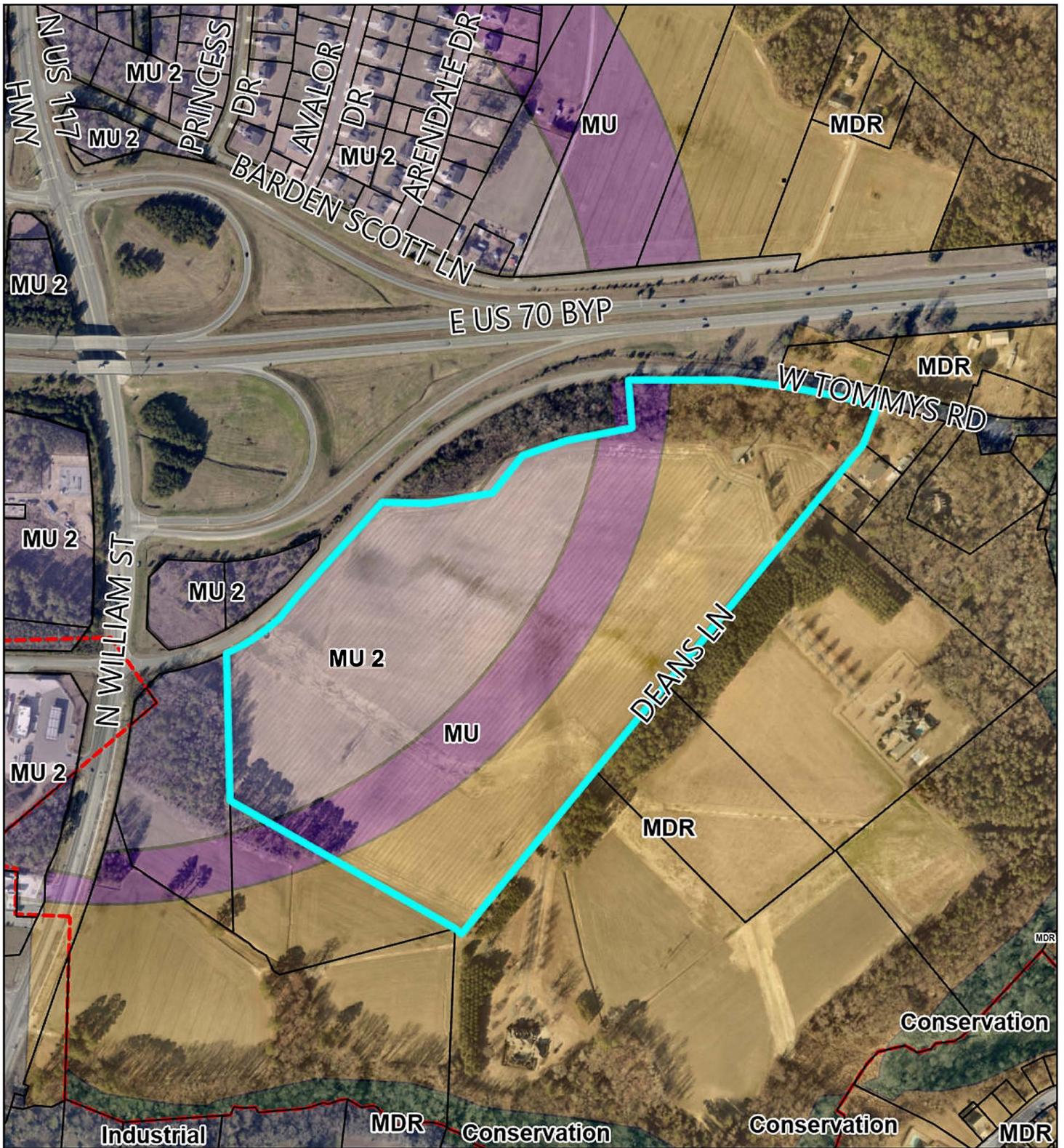
PRELIMINARY PLAN  
NOT FOR  
RECORDATION,  
SALES OR  
CONVEYANCES  
(SEAL HERE)

Sheet Title: **OVERALL UTILITY PLAN**

Project: **TUCKER TRACE**

City of Goldsboro  
Wayne County  
Zone: 3601503388  
Pin Number: 3601503388

Project Number: 24-475  
Date: SEPT. 2024  
Client Code: DEVGTJ  
Scale (Horz.): 1" = 120'  
Scale (Vert.): N/A  
Survey By:  
Field Book:  
Drawn By: LR  
Sheet: **SP2**



**Case Number: CZ-01-26**  
**Request: Rezone to R6-CZ & GB**  
**Owner: Mark's Farm LLC**  
**Location: W. Tommys Rd & N William St.**  
**PIN# 3601-50-3388**

**Legend**

**Future Land Use**

- Commercial
- Office and Institutional
- Industrial
- Conservation

**Mixed Use**

- Mixed Use - Downtown
- Mixed Use I
- Mixed Use II

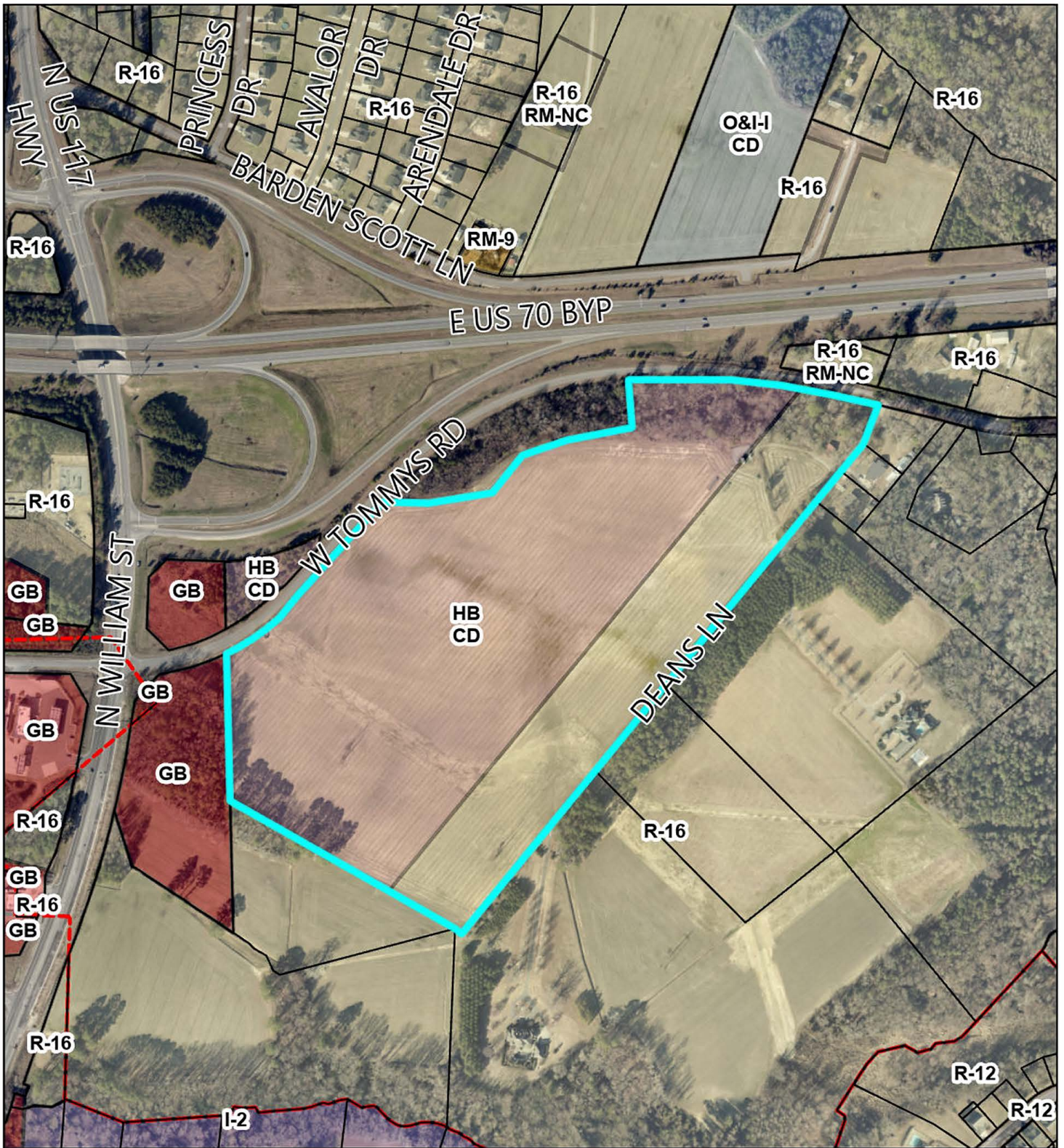
**Residential**

- High Density Residential

- Medium Density Residential
- Low Density Residential
- Rural Residential/ Agriculture
- Property Lines
- Property Lines selection 1

0 500 1,000 Feet





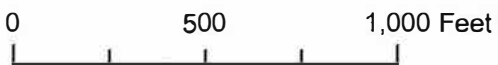
**Case Number: CZ-01-26**  
**Request: Rezone to R6-CZ & GB**  
**Owner: Mark's Farm LLC**  
**Location: W. Tommys Rd & N William St.**  
**PIN# 3601-50-3388**

**Zoning**

- AB
- AG
- CBD
- GB
- HB
- I-1

**Legend**

- I-2
- IBP-1
- NB
- O&I-I
- O&I-II
- O-R
- R-12
- R-12SF
- R-16
- R-20
- R-20A
- R-40
- R-6
- R-9
- R-95F
- RM-8
- RM-9
- SC
- Property Lines
- Property Lines selection 1



Adjacent Property Owners of  
CZ-04-25

PIN	Owner Name	Address	City	State	Zip
3601605935	THIGPEN GARY F	125 DEANS LANE	GOLDSBORO	NC	27530
3601616029	THIGPEN GARY FRANKLIN & W DARL	125 DEANS LN	GOLDSBORO	NC	27530
3601604360	EDWARDS VANCE H	145 DEANS LN	GOLDSBORO	NC	27530
3601400478	MALLARD OIL COMPANY	1502 DR MARTIN LUTHER KING	KINSTON	NC	28501
3600691076	WILLMAN PAUL & W DANA	315 DEANS LN	GOLDSBORO	NC	27530
3600599747	EDWARDS VANCE H	145 DEANS LN	GOLDSBORO	NC	27530
3601608564	METZLER MARK DAUGHTRY	376 W TOMMYS RD	GOLDSBORO	NC	27530
3601604844	KENNY FERGUS J	127 DEANS LN	GOLDSBORO	NC	27530
3601503388	TOMMY'S ROAD OFFICE LLC	PO BOX 729	PIKEVILLE	NC	27863
3601608787	HUBBELL MARLENE	388 W TOMMYS RD	GOLDSBORO	NC	27530
3601503388	TOMMY'S ROAD OFFICE LLC	PO BOX 729	PIKEVILLE	NC	27863
3601305778	BISCHOFF ELIZABETH KIRBY ETAL	83 CHADWICK DR	CHARLESTON	SC	29407
3600495359	ANDREWS FARMS OF WAYNE CO INC	8424 OLD WELL LN	RALEIGH	NC	27615
3600483976	ANDREWS FARMS OF WAYNE CO INC	8424 OLD WELL LN	RALEIGH	NC	27615
3600483976	ANDREWS FARMS OF WAYNE CO INC	8424 OLD WELL LN	RALEIGH	NC	27615
3600395938	CIRCLE K STORES INC	PO BOX 52085	PHOENIX	AZ	85072
3600490841	MALLARD OIL COMPANY	1502 DR MARTIN LUTHER KING	KINSTON	NC	28501
	Mark Frams LLC	5818 Watkins Road	Wendell	NC	27591
	Bartlett Engineering & Surveying, PC	1906 Nash Street	Wilson	NC	27893